

**District Office- Tenant Improvement**

981 Ridder Park Drive, San Jose, CA 95131  
MDG Project # 2203

**MECHANICAL UPGRADES – BID #B-03-2022-23**  
**ELECTRICAL UPGRADES – BID #B-04-2022-23**  
**GENERAL CONSTRUCTION – BID #B-05-2022-23**

**October 21, 2022**

**Berryessa Union School District  
SAN JOSE, CALIFORNIA**

This Addendum forms a part of the Contract Documents and modifies and clarifies the Notice to Bidders as noted below. Bidders must acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

**GENERAL BIDDING CLARIFICATION****Item #1:**

- A. **BID #B-03-2022-23 - MECHANICAL UPGRADES – Revised bid date – The bid date has been changed to November 1, 2022, at 2:00PM.**
- B. **BID #B-03-2022-23 - ELECTRICAL UPGRADES – Revised bid date – The bid date has been changed to November 1, 2022, at 2:30PM.**
- C. **BID #B-03-2022-23 – GENERAL CONSTRUCTION – Revised bid date – The bid date has been changed to November 1, 2022, at 3:00pm.**

**Item #2:**

- A. **Project Schedule – The project schedule has been revised – See section 00 52 26 – Agreement  
Start Date – All Bid Packages – November 14, 2022  
Completion Date – All Bid Packages – February 17, 2023**

**SPECIFICATIONS CLARIFICATIONS****Item #1:**

- 00. **Section 00 52 26 – Agreement – Replace the section in its entirety with the revised section 00 52 26 Agreement – marked addendum 3**

**Item #2:**

- A. Section 00 43 36 – Designation of Subcontractors – Replace the section in its entirety with the revised section 00 43 36 Designation of Subcontractors form marked addendum 3

**Item #3:**

- A. Section 00 45 19 – Non- Collusion Affidavit – Replace the section in its entirety with the revised section 00 45 19 Non-Collusion Affidavit form marked addendum 3

**Item #4:**

- A. Section 01 10 12 – Bid Division Descriptions – Replace the section in its entirety with the revised section 01 10 12 Bid Division Descriptions form marked addendum 3

**Item #5:**

- A. Section 00 41 26 – Bid Form 1 – Mechanical Upgrades – Replace the section in its entirety with the revised section 00 41 26 Bid Form 1 – Mechanical Upgrades marked addendum 3

**Item #6:**

- A. Section 00 41 26 – Bid Form 2 – Electrical Upgrades – Replace the section in its entirety with the revised section 00 41 26 Bid Form 2 - Electrical Upgrades marked addendum 3

**Item #7**

- A. Section 00 41 26 – Bid Form 3 – General Construction – Replace the section in its entirety with the revised section 00 41 26 Bid Form 3 – General Construction marked addendum 3

### **DRAWING CLARIFICATIONS**

#### **-----ARCHITECTURAL-----**

**Item 1: Sheet A-0.1 Title Sheet**

- A. Sheets with changes have been identified with a cloud and Delta 3.

**Item 2: Sheet A-2.1 Demolition Floor Plan- First Floor**

- A. Please see added attached sheet for minor demolition scope

**Item 3: Sheet A-2.2 Demolition Floor Plan- Second Floor**

- A. Please see added attached sheet for minor demolition scope

**Item 4: Sheet 3.1 Floor Plan- First Floor**

- A. See added wall hatch at Men's RR 106- West Wall.

- B. See added keynote at Mop Sink 118 which clarifies the flooring is to be VCT.
- C. See revised Storage 120 layout. Remove east wall between Storage 120 and Storage 121 and adjust door 120.2 location as show on plan.
- D. Change framed opening size from 3'-0" to 3'-6" at Storage 126.
- E. Provide new electrical panels keynote 26.02

### Item 5: Sheet 3.2 Floor Plan- Second Floor

- A. See added wall hatch at Men's RR 206- West Wall.
- B. Door location is existing to remain in Office 216.
- C. Provide concrete infill where existing shower and curb were removed at IT 219.
- D. Add a 24" deep countertop outside of Storage 223 and see revised layout.
- E. Remove tv monitor at Conference 224.
- F. Add sink as shown in Break Room 225
- G. Add a 24" deep countertop at the west wall in Storage 226.
- H. Relocate tv monitor from south wall to north wall at Conference Room 228.
- I. Remove Storage 230.1 and closet shelf and pole keynote 10.01.

### Item 6: Sheet 4.1 Demolition Reflected Ceiling Plan- First Floor

- A. Clarification- Entire existing t bar grid, ceiling tiles are to be removed and disposed by others. Existing light fixtures will be removed by others, stored by the District and Contractor is to reuse light fixtures and provide installation, OFCI.

### Item 7: Sheet 4.2 Demolition Reflected Ceiling Plan- Second Floor

- A. Clarification- Entire existing tbar grid, ceiling tiles, and light fixtures are to be removed and disposed by others.

### Item 8: Sheet 4.3 Reflected Ceiling Plan- First Floor

- A. Remove Reflected Ceiling Plan-General Note #5.
- B. Remove wall between Storage 120 and Storage 121. This is now just one storage room- Storage 120.
- C. Clarification- See revised 26.01 keynote and reflected ceiling plans for OFCI light fixtures.
  - a. See revised existing light fixture symbol under Legend
- D. Clarification- See revised keynotes, legend and reflected ceiling plan for grid size and type of tiles.
- E. Revise keynote 26.02 to read existing light fixtures in gyp bd ceilings to remain.

### Item 9: Sheet 4.4 Reflected Ceiling Plan- Second Floor

- A. Remove Reflected Ceiling Plan-General Note #5.
- B. Revise keynote 26.01 to read existing light fixtures in gyp bd ceilings to remain.
- C. See revised keynote 26.02- light fixtures shown are diagrammatic. Final layout is to be confirmed by District and electrical plans.
- D. Remove existing light fixture symbol under Legend.
- E. Clarification- See revised keynotes, legend and reflected ceiling plan for grid size and type of tiles.
- F. Remove Storage 230.1 and provide t bar grid per plans.

### Item 10: Sheet 8.2 Interior Elevations

- A. See revised 7/A-8.2 South Elevation to reflect a wider opening at Storage 126 and adjusted door location at Storage 120.

### Item 11: Sheet 8.3 Interior Elevations

- A. See added 2/A-8.3 North Elevation which reflects the countertop outside Storage 223.
- B. See revised 4/A-8.3 South Elevation which reflects the addition of a second sink along with adjusted cabinetry.

### Item 12: Sheet 9.2 Enlarged Restroom Floor Plans & Interior Elevations

- A. Provide new solid phenolic toilet partitions and urinal partitions at Women's 105, Men's 106 and Men's 206 per revised keynote 9.01.
- B. Provide new metal stud wall to meet accessibility per plans at Men's 106 and Men's 206.
- C. Provide ceramic tile floor patch at Men's 106 and Men's 206 per revised keynote 9.04
- D. Revised keynote 10.02 to read 22.01 at Men's 106.
- E. Provide new ceramic tile flooring in Women's 105.
- F. See revised interior elevations 3, 4, 5, 6/ A-9.2 and associated keynotes which reflect floor plan changes.

### Item 13: Sheet 10.1 Door & Window Schedules

- A. Revised all new interior door frames from hollow metal to be knock down anodized aluminum. Also see Door General Note no. 11
- B. See Remarks under Door No. 101.1- Contractor to adjust gap at center of doors.
- C. Replace existing Door 110.2, see schedule.
- D. Remove closet Door no. 230.2.
- E. Provide window film at door type B, C, E.

### Item 14: Sheet 10.2 Finish Schedule

- A. Remove room 121 Storage from finish schedule.
- B. Remove room 230.1 Storage from finish schedule.

### -----PLUMBING-----

### Item #15: Sheet P-1.0 Plumbing Plan

- A. First Floor Revisions:
  - a. Drinking Fountain – Removed the sanitary pump and are now trenching and providing an underground sewer connection inside the adjacent Restroom. Contractor will need to locate the (E) underground sewer line and connect to it.
  - b. Janitor Closet – Removed the water heater and are now connecting to the existing water heater in the upstairs Janitor Room.
  - c. Break Room – Added to reconnect the existing insta-hot water heater under the existing sink.

- d. Showed the plumbing work that is to be provided above the ceiling for the second floor plumbing items.
- B. Second Floor Revisions
  - a. Break Room – Added an additional sink and also a garbage disposal.
  - b. Break Room – Removed the new water heater from the scope
  - c. Water and Sewer – Changed the routing for all water and sewer including connecting to the existing water heater in the upstairs Janitor Room.

### **PRE-BID RFI'S**

- 1. **Question – Can we use 20 ga 3 5/8” studs instead of 4 inch.**  
**Answer – Use of 3 5/8”, 33 Mil Structural Steel studs is acceptable.**
- 2. **Question – The plans call for hollow metal door frames but existing is bronze. What do you want?**  
**Answer – Match existing door frames – Type, material & color**
- 3. **Question – Will the new doors match existing wood stained doors?**  
**Answer - The intent is to match the existing door stain colors.**
- 4. **Question – Will the walls go through t-bar or below?**  
**Answer – The new walls will attach to the roof deck.**
- 5. **Question - In addendum 2 division 09 has the general doing epoxy flooring. Where is it in the building? It is not on the finish schedule.**  
**Answer – Room 118**

### **Attachments:**

00 52 26 - Agreement  
00 43 36 - Designation of Subcontractors  
00 45 19 - Non-Collusion Affidavit  
01 10 12 – Bid Division Description  
  
00 41 26 – Bid Form 1 – Mechanical Upgrades  
00 41 26 – Bid Form 2 – Electrical Upgrades  
00 41 26 – Bid Form 3 – General Construction  
A-2.1 Demolition Floor Plan- First Floor  
A-2.2 Demolition Floor Plan- Second Floor  
A-3.1 Floor Plan- First Floor  
A-3.2 Floor Plan- Second floor  
A-4.1 Demolition Reflected Ceiling Plan- First Floor  
A-4.2 Demolition Reflected Ceiling Plan- Second Floor  
A-4.3 Reflected Ceiling Plan- First Floor  
A-4.4 Reflected Ceiling Plan- Second Floor  
A-8.2 Interior Elevations  
A-8.3 Interior Elevations  
A-9.2 Enlarged Restroom Floor Plans, Interior Elevations  
A-10.1 Door & Window Schedules  
A-10.2 Finish Schedules  
P-1.0 Plumbing Plan

End of Addendum #03

**DOCUMENT 00 52 26**

**AGREEMENT BETWEEN OWNER AND CONTRACTOR**

This Agreement effective \_\_\_\_\_, 202\_\_, by and between Berryessa Union School District, Santa Clara County, California, hereinafter called the "Owner," and \_\_\_\_\_, hereinafter called the "Contractor."

**WITNESSETH:** That the Contractor and the Owner for the consideration hereinafter named agree as follows:

**ARTICLE I. SCOPE OF WORK.** The Contractor agrees to furnish all labor, equipment and materials, including tools, implements, and appliances required, and to perform all the work in a good and workmanlike manner, free from any and all liens and claims from mechanics, material suppliers, subcontractors, artisans, machinists, teamsters, freight carriers, and laborers required for:

all in strict compliance with the plans, drawings and specifications therefore prepared by:

**McKim Design Group**

and other contract documents relating thereto.

**ARTICLE II. CONTRACT DOCUMENTS.** The Contractor and the Owner agree that all of the documents listed in Article 1.1.1 of the General Conditions form the Contract Documents which form the Contract.

**ARTICLE III. TIME TO COMPLETE AND LIQUIDATED DAMAGES.**

Time is of the essence in this contract, and the time of Completion for the Project shall be as follows:

Start Construction – All Bid Packages – November 14, 2022

Complete Construction – All Bid Packages - February 17, 2023

Failure to Complete the Project within the time and in the manner provided for by the Contract Documents (i.e., by the Completion deadline) shall subject the Contractor to liquidated damages. For purposes of liquidated damages, the concept of “substantial completion” shall not constitute Completion and is not part of the Contract Documents. The actual occurrence of damages and the actual amount of the damages which the Owner would suffer if the Project were not Completed by the Completion deadline are dependent upon many circumstances and conditions which could prevail in various combinations and, from the nature of the case, it is impracticable and extremely difficult to fix the actual damages. Damages which the Owner would suffer in the event of delay include, but are not limited to, loss of the use of the Project, disruption of activities, costs of administration, supervision and the incalculable inconvenience and loss suffered by the public.

Accordingly, the parties agree that the amount herein set forth shall be the amount of damages which the Owner shall directly incur upon failure of the Contractor to Complete the Project by the Completion deadline: **One Thousand Dollars (\$1,000.00), for each calendar day** by which Completion of the Project is delayed beyond the Completion deadline as adjusted by change orders.

If the Contractor becomes liable under this section, the Owner, in addition to all other remedies provided by law, shall have the right to withhold any and all retained percentages of payments and/or progress payments, and to collect the interest thereon, which would otherwise be or become due the Contractor until the liability of the Contractor under this section has been finally determined. If the retained percentages and withheld progress payments appear insufficient to discharge all liabilities of the Contractor incurred under this Article, the Contractor and its sureties shall continue to remain liable to the Owner for such liabilities until all such liabilities are satisfied in full.

If the Owner accepts any work or makes any payment under this Agreement after a default by reason of delays, the payment or payments shall in no respect constitute a waiver or modification of any Agreement provisions regarding time of Completion and liquidated damages.

**ARTICLE IV. PAYMENT AND RETENTION.** The Owner agrees to pay the Contractor in current funds \_\_\_\_\_ dollars (\$\_\_\_\_\_) for work satisfactorily performed after receipt of properly documented and submitted Applications for Payment and to make payments on account thereof, as provided in the General Conditions.

The retention amount on this Project is Five Percent (5%).

**ARTICLE V. CHANGES.** Changes in this Agreement or in the Work to be done under this Agreement shall be made as provided in the General Conditions.

**ARTICLE VI. TERMINATION.** The Owner or Contractor may terminate the Contract as provided in the General Conditions.

**ARTICLE VII. PREVAILING WAGES.** The Project is a public work, the Work shall be performed as a public work and pursuant to the provisions of Section 1770 et seq. of the Labor Code of the State of California, which are hereby incorporated by reference and made a part hereof, the Director of Industrial Relations has determined the general prevailing rate of per diem wages and the general prevailing rate for holiday and overtime work in the locality in which the work is to be performed, for each craft, classification or type of worker needed to execute this Contract. Per diem wages shall be deemed to include employer payments for health and welfare, pension, vacation, apprenticeship or other training programs, and similar purposes. Copies of the rates are on file at the Owner's principal office. The rate of prevailing wage for any craft, classification or type of workmanship to be employed on this Project is the rate established by the applicable collective bargaining agreement which rate so provided is hereby adopted by reference and shall be effective for the life of this Agreement or until

### Addendum 3

the Director of the Department of Industrial Relations determines that another rate be adopted. It shall be mandatory upon the Contractor and on any subcontractor to pay not less than the said specified rates to all workers employed in the execution of this Agreement.

The Contractor and any subcontractor under the Contractor as a penalty to the Owner shall forfeit not more than Two Hundred Dollars (\$200.00) for each calendar day or portion thereof for each worker paid less than the stipulated prevailing rates for such work or craft in which such worker is employed. The difference between such stipulated prevailing wage rates and the amount paid to each worker for each calendar day or portion thereof for which each worker was paid less than the stipulated prevailing wage rate shall be paid to each worker by the Contractor.

The Contractor and each Subcontractor shall keep or cause to be kept an accurate record for work on this Project showing the names, addresses, social security numbers, work classification, straight time and overtime hours worked and occupations of all laborers, workers and mechanics employed by them in connection with the performance of this Contract or any subcontract thereunder, and showing also the actual per diem wage paid to each of such workers, which records shall be open at all reasonable hours to inspection by the Owner, its officers and agents and to the representatives of the Division of Labor Law Enforcement of the State Department of Industrial Relations. The Contractor and each subcontractor shall furnish a certified copy of all payroll records directly to the Labor Commissioner.

For public works contracts awarded on and after January 1, 2015, those public works projects shall be subject to compliance monitoring and enforcement by the Department of Industrial Relations.

As of March 1, 2015, a contractor or subcontractor shall not be qualified to submit a bid or to be listed in a bid proposal subject to the requirements of Public Contract Code section 4104 unless currently registered and qualified under Labor Code section 1725.5 to perform public work as defined by Division 2, Part 7, Chapter 1 (§§1720 et seq.) of the Labor Code.

As of April 1, 2015, a contractor or subcontractor shall not be qualified to enter into, or engage in the performance of, any contract of public work (as defined by Division 2, Part 7, Chapter 1 (§§1720 et seq.) of the Labor Code) unless currently registered and qualified under Labor Code section 1725.5 to perform public work.

**ARTICLE VIII. WORKING HOURS.** In accordance with the provisions of Sections 1810 to 1815, inclusive, of the Labor Code of the State of California, which are hereby incorporated and made a part hereof, the time of service of any worker employed by the Contractor or a Subcontractor doing or contracting to do any part of the Work contemplated by this Agreement is limited and restricted to eight hours during any one calendar day and forty hours during any one calendar week, provided, that work may be performed by such employee in excess of said eight hours per day or forty hours per week provided that compensation for all hours worked in excess of eight hours per day, and forty hours per week, is paid at a rate not less than one and one-half (1½) times the

basic rate of pay. The Contractor and every Subcontractor shall keep an accurate record showing the name of and the actual hours worked each calendar day and each calendar week by each worker employed by them in connection with the Work. The records shall be kept open at all reasonable hours to inspection by representatives of the Owner and the Division of Labor Law Enforcement. The Contractor shall as a penalty to the Owner forfeit Twenty-five Dollars (\$25.00) for each worker employed in the execution of this Agreement by the Contractor or by any subcontractor for each calendar day during which such worker is required or permitted to work more than eight hours in any one calendar day, and forty hours in any one calendar week, except as herein provided.

**ARTICLE IX. APPRENTICES.** The Contractor agrees to comply with Chapter 1, Part 7, Division 2, Sections 1777.5 and 1777.6 of the California Labor Code, which are hereby incorporated and made a part hereof. These sections require that contractors and subcontractors employ apprentices in apprenticeable occupations in a ratio of not less than one hour of apprentice's work for each five hours of work performed by a journeyman (unless an exemption is granted in accordance with Section 1777.5) and that contractors and subcontractors shall not discriminate among otherwise qualified employees as indentured apprentices on any public works solely on the ground of sex, race, religious creed, national origin, ancestry or color. Only apprentices as defined in Labor Code Section 3077, who are in training under apprenticeship standards and who have signed written apprentice agreements, will be employed on public works in apprenticeable occupations. The responsibility for compliance with these provisions is fixed with the Contractor for all apprenticeable occupations.

**ARTICLE X. DSA OVERSIGHT PROCESS.** The Contractor must comply with the applicable requirements of the Division of State Architect ("DSA") Construction Oversight Process ("DSA Oversight Process"), including but not limited to (a) notifying the Owner's Inspector of Record/Project Inspector ("IOR") upon commencement and completion of each aspect of the work as required under DSA Form 156; (b) coordinating the Work with the IOR's inspection duties and requirements; (c) submitting verified reports under DSA Form 6-C; and (d) coordinating with the Owner, Owner's Architect, any Construction Manager, any laboratories, and the IOR to meet the DSA Oversight Process requirements without delay or added costs to the Project.

Contractor shall be responsible for any additional DSA fees related to review of proposed changes to the DSA-approved construction documents, to the extent the proposed changes were caused by Contractor's wrongful act or omissions. If inspected work is found to be in non-compliance with the DSA-approved construction documents or the DSA-approved testing and inspection program, then it must be removed and corrected. Any construction that covers unapproved or uninspected work is subject to removal and correction, at Contractor's expense, in order to permit inspection and approval of the covered work in accordance with the DSA Oversight Process.

**ARTICLE XI. INDEMNIFICATION AND INSURANCE.** The Contractor will defend, indemnify and hold harmless the Owner, its governing board, officers, agents, trustees, employees and others as provided in the General Conditions.

By this statement the Contractor represents that it has secured the payment of Workers' Compensation in compliance with the provisions of the Labor Code of the State of California and during the performance of the work contemplated herein will continue so to comply with said provisions of said Code. The Contractor shall supply the Owner with certificates of insurance evidencing that Workers' Compensation Insurance is in effect and providing that the Owner will receive thirty (30) days' notice of cancellation.

Contractor shall provide the insurance set forth in the General Conditions. The amount of general liability insurance shall be \$1,000,000.00 per occurrence for bodily injury, personal injury and property damage and a minimum of \$2,000,000.00 aggregate. The amount of automobile liability insurance shall be \$1,000,000.00 per accident for bodily injury and property damage combined single limit.

**ARTICLE XII. ENTIRE AGREEMENT.** The Contract constitutes the entire agreement between the parties relating to the Project, and supersedes any prior or contemporaneous agreement between the parties, oral or written, including the Owner's award of the Project to Contractor, unless such agreement is expressly incorporated herein. The Owner makes no representations or warranties, express or implied, not specified in the Contract. The Contract is intended as the complete and exclusive statement of the parties' agreement pursuant to Code of Civil Procedure section 1856.

**ARTICLE XIII. EXECUTION OF OTHER DOCUMENTS.** The parties to this Agreement shall cooperate fully in the execution of any and all other documents and in the completion of any additional actions that may be necessary or appropriate to give full force and effect to the terms and intent of the Contract.

**ARTICLE XIV. EXECUTION IN COUNTERPARTS.** This Agreement may be executed in counterparts such that the signatures may appear on separate signature pages. A copy, or an original, with all signatures appended together, shall be deemed a fully executed Agreement.

**ARTICLE XV. BINDING EFFECT.** Contractor, by execution of this Agreement, acknowledges that Contractor has read this Agreement and the other Contract Documents, understands them, and agrees to be bound by their terms and conditions. The Contract shall inure to the benefit of and shall be binding upon the Contractor and the Owner and their respective successors and assigns.

**ARTICLE XVI. SEVERABILITY; GOVERNING LAW; CHOICE OF FORUM.** If any provision of the Contract shall be held invalid or unenforceable by a court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provision hereof. The Contract shall be governed by the laws of the State of California. Any action or proceeding seeking any relief under or with respect to this Agreement shall be brought solely in the Superior Court of the State of California for the County of Santa Clara, subject to transfer of venue under applicable State law, provided that nothing in this Agreement shall constitute a waiver of immunity to suit by Owner.

**ARTICLE XVII. AMENDMENTS.** The terms of the Contract shall not be waived, altered, modified, supplemented or amended in any manner whatsoever except

by written agreement signed by the parties and approved or ratified by the Governing Board.

**ARTICLE XVIII. ASSIGNMENT OF CONTRACT.** The Contractor shall not assign or transfer by operation of law or otherwise any or all of its rights, burdens, duties or obligations without the prior written consent of the surety on the payment bond, the surety on the performance bond and the Owner.

**ARTICLE XIX. WRITTEN NOTICE.** Written notice shall be deemed to have been duly served if delivered in person to the individual or member of the firm or to an officer of the corporation for whom it was intended, or if delivered at or sent by registered or certified or overnight mail to the last business address known to the person who gives the notice.

**(CONTRACTOR)**

**(OWNER)**

SIGNED BY (Contractor)

\_(Title)

CALIFORNIA CONTRACTOR'S  
LICENSE NO.

LICENSE EXPIRATION DATE

**NOTE:** Contractor must give the full business address of the Contractor and sign with Contractor's usual signature. Partnerships must furnish the full name of all partners and the Agreement must be signed in the partnership name by a general partner with authority to bind the partnership in such matters, followed by the signature and designation of the person signing. The name of the person signing shall also be typed or printed below the signature. Corporations must sign with the legal name of the corporation, followed by the name of the state of incorporation and by the signature and designation of the chairman of the board, president or any vice president, and then followed by a second signature by the secretary, assistant secretary, the chief financial officer or assistant treasurer. All persons signing must be authorized to bind the corporation in the matter. The name of each person signing shall also be typed or printed below the signature. Satisfactory evidence of the authority of the officer signing on behalf of a corporation shall be furnished.

END OF DOCUMENT

**DOCUMENT 00 43 36**

**DESIGNATION OF SUBCONTRACTORS**

Each bidder shall set forth below the name and the location of the place of business of each subcontractor and the California contractor license number of each subcontractor who will perform work or labor or render service to the Contractor in or about the construction of the Work or improvement, or to a subcontractor licensed by the State of California who, under subcontract to the Contractor, specially fabricates and installs a portion of the Work or improvement according to detailed drawings contained in the plans and specifications, in an amount in excess of one-half of 1 percent (0.5%) of the bidder's total bid, and the portion of the Work which will be done by each subcontractor. An inadvertent error in listing a California contractor's license number shall not be grounds for filing a bid protest or for considering the bid nonresponsive if the bidder submits the corrected contractor's license number to the Owner within 24 hours after the bid opening, or any continuation thereof, so long as the corrected contractor's license number corresponds to the submitted name and location for that subcontractor.

If the Contractor fails to specify a subcontractor for any portion of the Work to be performed under the Contract in excess of one-half of 1 percent (0.5%) of the Contractor's total bid, the Contractor shall be deemed to have agreed to perform such portion itself, and shall not be permitted to subcontract that portion of the Work except under the conditions hereinafter set forth.

Subletting or subcontracting of any portion of the Work as to which no subcontractor was designated in the original bid shall only be permitted in cases of public emergency or necessity, and then only after a finding reduced to writing as a public record of the legislative body of the Owner.

As of March 1, 2015, for any bid proposal submitted, and as of April 1, 2015, for any contract for public work entered into, an inadvertent error in listing a subcontractor who is not registered under Labor Code section 1725.5 shall not be grounds for filing a bid protest or grounds for considering the bid nonresponsive, provided that either: the subcontractor is registered prior to the bid opening; or the subcontractor is registered and has paid the penalty registration fee specified in Labor Code section 1725.5(a)(2)(E), if applicable, within 24 hours after the bid opening; or the subcontractor is replaced by another registered subcontractor under Public Contract Code section 4107. Failure of a listed subcontractor to be registered shall be grounds under Public Contract Code section 4107 for the Contractor, with the Owner's consent, to substitute a registered subcontractor for the unregistered subcontractor.

Failure to provide this information in a legible manner may result in the rejection of an otherwise acceptable bid.

**NOTE:** *Reproduce page two of this section for additional listings needed beyond the length of this form.*

### Addendum 3

[illegible]

### Addendum 3

[illegible]

I am the authorized representative of the Bidder submitting this Designation of Subcontractors and I declare that each subcontractor listed holds a valid and current contractor license in good standing in California to perform the portion of work for which the subcontractor is listed.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_, 202\_\_, at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

END OF DOCUMENT

**DOCUMENT 00 45 19**

**NON COLLUSION DECLARATION**  
**TO BE EXECUTED BY BIDDER AND SUBMITTED WITH BID**

Owner: Berryessa Union School District

Project:

The undersigned declares:

I am the \_\_\_\_\_ of \_\_\_\_\_, the party making the foregoing bid.

The bid is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The bid is genuine and not collusive or sham. The bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham bid. The bidder has not directly or indirectly colluded, conspired, connived, or agreed with any bidder or anyone else to put in a sham bid, or to refrain from bidding. The bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of the bid price, or of that of any other bidder. All statements contained in the bid are true. The bidder has not, directly or indirectly, submitted his or her bid price or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, bid depository, or to any member or agent thereof, to effectuate a collusive or sham bid, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a bidder that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the bidder.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_, 202\_\_, at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

**END OF DOCUMENT**

DOCUMENT 01 10 12

**BID DIVISION DESCRIPTIONS**

**PART 1 - GENERAL**

**1.1 Section Includes**

- A. Descriptions of Bid Divisions.

**1.2 Related Sections**

- A. Section 01 11 00 - Summary of Work.

**1.3 DESCRIPTIONS OF BID DIVISIONS**

- A. For the purpose of clarity, the scope of work for each Bid Division has been divided into three categories: "INCLUDED", "ALSO INCLUDED", and "EXCLUDED".
  - 1. Items listed under "INCLUDED" are the standard and/or "conventional" work scope of each Bid Division.
  - 2. Information provided under "ALSO INCLUDED" points out some items which may be considered less obvious or "unconventional," but which are included in the work scope of a particular Bid Division. (Information under this heading is not always necessary to delineate a Bid Division.)
  - 3. Information provided under the heading "EXCLUDED" is for the purpose of indicating beginning and termination points, and/or to provide an understanding of fringe involvements included in Bid Divisions. (Information under this heading is not always necessary to delineate a Bid Division.)
- B. Bid Divisions are the categories of Work into which the Project will be divided for bidding and construction. Bid Divisions should not be confused with Specification Sections.
  - 1. Bid Division Descriptions (Section 01 11 12) are a written description of the Scope of the Work included in each of the Bid Divisions.
  - 2. Bid Division Descriptions have been written to clearly define each Bid Division. Contractors are encouraged to request information or clarification by calling the Construction Manager. The Owner will not be responsible for a Contractor's incorrect interpretation of the Descriptions.
  - 3. Although each Bid Division involves a standard segment of

"conventional" trade contracting, multiple contract project delivery requires that adjustments be made to permit the completion of each Bid Division as a separate segment of construction. Each Contractor shall carefully review the total scope of responsibilities with respect to the Work of the Bid Division(s) and shall provide for the total scope in Contractor's Bid Division Proposal.

4. Each Contractor shall become familiar with the work scopes of all other Bid Divisions which interface with the Bid Division of which a proposal is being submitted. Each Contractor shall consider that the work of Contractor's Bid Division(s) may follow the work of another Bid Division, that other Contractors may perform work after the work of Contractor's Bid Division(s), and that other Contractors may work simultaneously with the work of Contractor's Bid Division(s). Each Contractor shall include provisions for such sequencing and scheduling, and for cooperation and coordination with such other Contractors in the Bid Proposal.
5. Nothing contained in the Bidding Documents, including the Bid Division descriptions, shall be construed by Bidders as an assignment of work to any construction industry trade. Each Bidder is responsible for Bidder's own work assignments within the Bid Division.

## 1.4 BID DIVISION DESCRIPTIONS

### A. BID DIVISION 1: MECHANICAL UPGRADES – B-03-2022-23

**1.Included:** The work under this contract includes but not limited to: Demolition of the existing ductwork, grilles, registers, T-stats, mixing boxes and controls. Provide and install new ductwork, mixing boxes, grilles, and registers. The contractor will also provide testing, adjustments, and balancing. The HVAC controls will be provided and installed by the District's EMS vendor. The mechanical contractor will coordinate the EMS work with the District's EMS vendor. Includes all labor and material to provide and install the plumbing scope as shown on plan sheet P1.0

Division 01	General Requirements
Division 02	Existing Conditions & Demolition
07 27 00	Firestopping
23 00 00	Mechanical General Requirements
23 05 00	Heating Ventilating Air Conditioning
23 05 93	Testing Adjusting Balancing
Plumbing material & fixture selections – Addendum 2	

**Also included but not limited to:**

Provide As-built drawings (for this Bid Division) showing original contract, change order work,

### Addendum 3

RFI'S and any other additional work.

All construction included in this Bid Divisions shall be in accordance with all documents, all organizations having jurisdiction, and all other, applicable design criteria.

Provide all labor and material for any cutting and patching necessary to install conduits, boxes, and raceways for this Bid Division.

Provide all labor and material for the installation of seismic support, strapping and/or attachments for mechanical equipment.

Provide roof jacks to the Bid Division 3 contractor for any roof penetrations need to perform the Bid Division 1 work.

Provide access panels to the Bid Division 3 contractor as needed for the Bid Division 1 work.

Provide all labor and material to install condensate lines for all new and existing HVAC equipment.

Provide all labor and material routine servicing and replacement of filters on all existing HVAC units.

Provide all labor and material to re-install the existing insta-hot water heater in room 111.

Provide coordination with other Bid Divisions, District Maintenance staff and District vendors.

**Excluded:**

Demolition & dispose of existing HVAC duct work, VAV's, registers, HVAC controls and associated HVAC equipment in above grid spaces.

Bid Division 2 work

Bid Division 3 work

23 09 22 Climate Management Control For HVAC

#### **A. BID DIVISION 2: ELECTRICAL UPGRADES – B-04-2022-23**

1. **Included:** The work under this contract includes but not limited to: Selective demolition of existing light fixtures, outlets, switches, abandoned circuits and panels. Provide and install new panels, light fixtures, switches, outlets, and line voltage for new equipment for all bid divisions. The contractor will also provide all fire alarm work included in the bid division.

Division 01	General Requirements
Division 02	Existing Conditions & Demolition
07 27 00	Firestopping
26 05 00	General Electrical Requirements

### Addendum 3

26 05 19	Line Voltage Wire and Cable
26 05 26	Grounding
26 05 33	Outlet, Junction and Pull Boxes
26 05 42	Conduits, Raceways and Fittings
26 05 50	Through-Penetration Firestopping for Electrical Systems
26 24 16	Panelboards and Distribution Panels
26 27 26	Devices Wiring
26 28 16	Circuit Breakers
26 51 00	Lighting
28 31 00	Fire Alarm System (Existing)

**Also included but not limited to:**

Provide As-built drawings (for this Bid Division) showing original contract, change order work, RFI'S and any other additional work.

All construction included in this Bid Divisions shall be in accordance with all documents, all organizations having jurisdiction, and all other, applicable design criteria.

Provide all labor and material for any cutting and patching necessary to install conduits, boxes, and raceways for this Bid Division.

Provide all labor and material for the installation of seismic support, strapping and/or attachments for electrical lighting or equipment.

Provide all labor and material to install Owner Furnished drop-in light fixtures in the first floor T-bar ceiling including any modifications (i.e., wiring, ballast repair/replacement, lens replacement or re-lamping) needed to install the fixtures.

Provide coordination with other Bid Divisions, District Maintenance staff and District vendors.

Provide roof jacks to the Bid Division 3 contractor for any roof penetrations need to perform the Bid Division 2 work.

Provide access panels to the Bid Division 3 contractor as needed for the Bid Division 2 work.

Provide temporary power and lighting for all Bid Divisions, District Maintenance staff and District vendors.

Provide line voltage for equipment installed by this and all other Bid Divisions.

**Excluded:**

Disconnection, removal & storage of the first floor T-bar drop in light fixtures  
Bid Division 1 work  
Bid Division 3 work  
27 10 00 – Structured Cabling

27 51 17 – Assistive Listening Device - Portable

**A. BID DIVISION 3: GENERAL CONSTRUCTION– B-05-2022-23**

1. **Included:** The work under this contract includes but not limited to: Selective demolition of existing ceiling grid & tiles, walls, etc. Provide and install new metal stud walls, gypsum board, ceiling grid & tiles, ceramic tile in Men’s restroom, new & existing doors, door hardware, glazing, storefront door, and interior painting.

Division 01	General Requirements
Division 02	Existing Conditions & Demolition
06 20 00	Finish Carpentry
07 20 22	Insulation
07 27 00	Firestopping
07 92 00	Joint Sealers
08 11 13	Standard Steel Frames
08 14 00	Wood Doors
08 41 13	Aluminum Entrances and Storefronts
08 71 00	Door Hardware
08 80 00	Glazing
09 21 16	Gypsum Board Systems
09 22 16	Metal Studs- Non Load Bearing
09 30 13	Ceramic Tile
09 51 13	Acoustical Suspension Systems
09 51 14	Acoustical Ceilings – Lay-in
09 67 23	Resinous Flooring – Epoxy
09 91 00	Painting

**Also included but not limited to:**

Provide As-built drawings (for this Bid Division) showing original contract, change order work, RFI’S and any other additional work.

All construction included in this Bid Divisions shall be in accordance with all documents, all organizations having jurisdiction, and all other, applicable design criteria.

Provide all labor and material for any cutting and patching necessary to install conduits, boxes, and raceways for this Bid Division.

Provide all labor and material to install blocking as needed for casework, toilet partitions, wall-mounted shelving & accessories, mechanical and electrical equipment for all Bid Divisions.

Provide all labor and material to install existing doors, door frames and door hardware including any modifications needed to install the doors, door frames and door hardware.

### Addendum 3

Provide all labor and material to install access doors for all Bid Divisions.

Provide all labor and material to install roof jacks for all Bid Divisions.

Provide all labor and material from roof patching for all new roof penetrations.

Provide all labor and debris bins to dispose of existing ceiling tiles, first floor restroom toilets partitions and unused existing doors, door frames and door hardware.

Provide all labor and material to skim-coat all existing gypsum board walls to match finish of the new walls. Include a forty (40) labor hour allowance to patch area existing damage in the existing gypsum board walls and/or ceilings,

Provide continuous clean up. Provide one laborer all day each Friday for a weekly jobsite cleanup (broom clean).

Provide coordination with other Bid Divisions, District Maintenance staff and District vendors.

Provide labor for the daily securing of the site at the end of each workday.

**Excluded:**

Bid Division 1 work

Bid Division 2 work

Civil work

Fire Sprinkler work

05 52 00 – Handrails and Railings

06 41 00 – Custom Casework

09 65 13 – Resilient Base and Accessories

09 68 13 – Carpet Tiles

10 14 10 – Room Signage

10 14 11 – Restroom Signage

31 00 00 – Earthwork

Division 32 work

**DOCUMENT 00 41 26****BID FORM – MECHANICAL UPGRADES**

Berryessa Union School District  
1376 Piedmont Rd.  
San Jose, CA 95132

Dear Board Members:

The undersigned doing business under the firm name of:

\_\_\_\_\_ hereby propose and agree to enter into a Contract, to furnish any and all labor, materials, applicable taxes, equipment and services for the completion of Work described hereinafter and in the Contract Documents:

**New District Office  
Mechanical Upgrades  
Bid # B-03-2022-23**

prepared by: McKim Design Group. for the amount of:

<b>1</b>	_____ Dollars <b>Amount in Words Base Bid – Mechanical Upgrades</b>	\$ _____
<b>2</b>	_____ <b>Seventy-Thousand Dollars</b> <b>Allowance for Unforeseen Conditions</b>	<b>\$75,000.00</b>
<b>3</b>	_____ Dollars <b>Total Amount in Words Base Bid + Allowance</b>	\$ _____

#### 11.1.6.1 UNIT PRICES

Any and all additional work and/or deductions shall be based on the Unit Prices. DO NOT INCLUDE THE UNIT PRICING IN YOUR BASE BID.

N/A

#### 11.1.6.2 COURSE-OF-CONSTRUCTION INSURANCE REQUIREMENTS

Contractor, during the progress of the Work and until final acceptance of the Work by Owner upon completion of the entire Contract, shall maintain Builder's Risk/Course-of-Construction insurance satisfactory to the Owner, issued on a completed value basis on all insurable Work included under the Contract Documents. This insurance shall insure against all risks, including but not limited to the following perils: vandalism, theft,

Addendum 3

malicious mischief, fire, sprinkler leakage, civil authority, sonic boom, explosion, collapse, flood, earthquake (for projects not solely funded through revenue bonds, limited to earthquakes equivalent to or under 3.5 on the Richter Scale in magnitude), wind, hail, lightning, smoke, riot or civil commotion, debris removal (including demolition) and reasonable compensation for the Architect's services and expenses required as a result of such insured loss. This insurance shall provide coverage in an amount not less than the full cost to repair, replace or reconstruct the Work. Such insurance shall include the Owner, the Architect, and any other person or entity with an insurable interest in the Work as an additional named insured.

The Contractor shall submit to the Owner for its approval all items deemed to be uninsurable under the Builder's Risk/Course-of Construction insurance. The risk of the damage to the Work due to the perils covered by the Builder's Risk/Course-of Construction insurance, as well as any other hazard which might result in damage to the Work, is that of the Contractor and the surety, and no claims for such loss or damage shall be recognized by the Owner, nor will such loss or damage excuse the complete and satisfactory performance of the Contract by the Contractor.

If written notice of the Award of Contract is mailed, faxed, or delivered to the undersigned at any time before this bid is withdrawn, the undersigned shall, within ten (10) days after the date of such mailing, faxing, or delivering of such notice, execute and deliver an agreement in the form of agreement present in these Contract Documents and give Performance and Payment Bonds in accordance with the specifications and bid as accepted.

The undersigned hereby designates as the office to which such Notice of Award of Contract may be mailed, faxed, or delivered:

---

Our Public Liability and Property Damage Insurance is placed with:

---

Our Workers' Compensation Insurance is placed with:

---

Circular letters, bulletins, addenda, etc., bound with the specifications or issued during the time of bidding are included in the bid, and, in completing the Contract, they are to become a part thereof.

The receipt of the following addenda to the specifications is acknowledged:

Addendum No. \_\_\_\_\_ Date \_\_\_\_\_ Addendum No. \_\_\_\_\_ Date \_\_\_\_\_  
Addendum No. \_\_\_\_\_ Date \_\_\_\_\_ Addendum No. \_\_\_\_\_ Date \_\_\_\_\_

This bid may be withdrawn at any time prior to the scheduled time for the opening of bids or any authorized postponement thereof.

Addendum 3

A bidder shall not submit a bid unless the bidder's California contractor's license number appears clearly on the bid, the license expiration date and class are stated, and the bid contains a statement that the representations made therein are made under penalty of perjury. Any bid submitted by a contractor who is not licensed pursuant to Business and Professions Code section 7028.15 shall be considered nonresponsive and shall be rejected. Any bid not containing the above information may be considered nonresponsive and may be rejected.

**NOTE:** Each bid must give the full business address of the bidder and be signed by bidder with bidder's usual signature. Bids by partnerships must furnish the full name of all partners and must be signed in the partnership name by a general partner with authority to bind the partnership in such matters, followed by the signature and designation of the person signing. The name of the person signing shall also be typed or printed below the signature. Bids by corporations must be signed with the legal name of the corporation, followed by the name of the state of incorporation and by the signature and designation of the chairman of the board, president or any vice president, and then followed by a second signature by the secretary, assistant secretary, the chief financial officer or assistant treasurer. All persons signing must be authorized to bind the corporation in the matter. The name of each person signing shall also be typed or printed below the signature. Satisfactory evidence of the authority of the officer signing on behalf of a corporation shall be furnished.

The undersigned declares under penalty of perjury under the laws of the State of California that the representations made in this bid are true and correct.

Print or Type Name: \_\_\_\_\_

Title: \_\_\_\_\_

Name of Company as Licensed: \_\_\_\_\_

Business Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

California Contractor License No.: \_\_\_\_\_

Class and Expiration Date: \_\_\_\_\_

State of Incorporation, if Applicable: \_\_\_\_\_

( ) Evidence of authority to bind corporation is attached.

Dated: \_\_\_\_\_, \_\_\_\_\_

Signed: \_\_\_\_\_

END OF DOCUMENT

**DOCUMENT 00 41 26****BID FORM – ELECTRICAL UPGRADES**

Berryessa Union School District  
1376 Piedmont Rd.  
San Jose, CA 95132

Dear Board Members:

The undersigned doing business under the firm name of:

\_\_\_\_\_ hereby propose and agree to enter into a Contract, to furnish any and all labor, materials, applicable taxes, equipment and services for the completion of Work described hereinafter and in the Contract Documents:

**New District Office  
Electrical Upgrades  
Bid # B-04-2022-23**

prepared by: McKim Design Group for the amount of:

<b>1</b>	_____ Dollars <b>Amount in Words</b> <b>Base Bid – Electrical Upgrades</b>	\$ _____
<b>2</b>	_____ <b>Seventy-Five Dollars</b> <b>Allowance for Unforeseen Conditions</b>	<b>\$75,000.00</b>
<b>3</b>	_____ Dollars <b>Total Amount in Words</b> <b>Base Bid + Allowance</b>	\$ _____

#### 11.1.6.1 UNIT PRICES

Any and all additional work and/or deductions shall be based on the Unit Prices. DO NOT INCLUDE THE UNIT PRICING IN YOUR BASE BID.

N/A

#### 11.1.6.2 COURSE-OF-CONSTRUCTION INSURANCE REQUIREMENTS

Contractor, during the progress of the Work and until final acceptance of the Work by Owner upon completion of the entire Contract, shall maintain Builder's Risk/Course-of-Construction insurance satisfactory to the Owner, issued on a completed value basis on all insurable Work included under the Contract Documents. This insurance shall insure against all risks, including but not limited to the following perils: vandalism, theft, malicious mischief, fire, sprinkler leakage, civil authority, sonic boom, explosion,

Addendum 3

collapse, flood, earthquake (for projects not solely funded through revenue bonds, limited to earthquakes equivalent to or under 3.5 on the Richter Scale in magnitude), wind, hail, lightning, smoke, riot or civil commotion, debris removal (including demolition) and reasonable compensation for the Architect's services and expenses required as a result of such insured loss. This insurance shall provide coverage in an amount not less than the full cost to repair, replace or reconstruct the Work. Such insurance shall include the Owner, the Architect, and any other person or entity with an insurable interest in the Work as an additional named insured.

The Contractor shall submit to the Owner for its approval all items deemed to be uninsurable under the Builder's Risk/Course-of Construction insurance. The risk of the damage to the Work due to the perils covered by the Builder's Risk/Course-of-Construction insurance, as well as any other hazard which might result in damage to the Work, is that of the Contractor and the surety, and no claims for such loss or damage shall be recognized by the Owner, nor will such loss or damage excuse the complete and satisfactory performance of the Contract by the Contractor.

If written notice of the Award of Contract is mailed, faxed, or delivered to the undersigned at any time before this bid is withdrawn, the undersigned shall, within ten (10) days after the date of such mailing, faxing, or delivering of such notice, execute and deliver an agreement in the form of agreement present in these Contract Documents and give Performance and Payment Bonds in accordance with the specifications and bid as accepted.

The undersigned hereby designates as the office to which such Notice of Award of Contract may be mailed, faxed, or delivered:

---

Our Public Liability and Property Damage Insurance is placed with:

---

Our Workers' Compensation Insurance is placed with:

---

Circular letters, bulletins, addenda, etc., bound with the specifications or issued during the time of bidding are included in the bid, and, in completing the Contract, they are to become a part thereof.

The receipt of the following addenda to the specifications is acknowledged:

Addendum No. \_\_\_\_\_ Date \_\_\_\_\_ Addendum No. \_\_\_\_\_ Date \_\_\_\_\_  
Addendum No. \_\_\_\_\_ Date \_\_\_\_\_ Addendum No. \_\_\_\_\_ Date \_\_\_\_\_

This bid may be withdrawn at any time prior to the scheduled time for the opening of bids or any authorized postponement thereof.

A bidder shall not submit a bid unless the bidder's California contractor's license number appears clearly on the bid, the license expiration date and class are stated, and the bid

Addendum 3

contains a statement that the representations made therein are made under penalty of perjury. Any bid submitted by a contractor who is not licensed pursuant to Business and Professions Code section 7028.15 shall be considered nonresponsive and shall be rejected. Any bid not containing the above information may be considered nonresponsive and may be rejected.

**NOTE:** Each bid must give the full business address of the bidder and be signed by bidder with bidder's usual signature. Bids by partnerships must furnish the full name of all partners and must be signed in the partnership name by a general partner with authority to bind the partnership in such matters, followed by the signature and designation of the person signing. The name of the person signing shall also be typed or printed below the signature. Bids by corporations must be signed with the legal name of the corporation, followed by the name of the state of incorporation and by the signature and designation of the chairman of the board, president or any vice president, and then followed by a second signature by the secretary, assistant secretary, the chief financial officer or assistant treasurer. All persons signing must be authorized to bind the corporation in the matter. The name of each person signing shall also be typed or printed below the signature. Satisfactory evidence of the authority of the officer signing on behalf of a corporation shall be furnished.

The undersigned declares under penalty of perjury under the laws of the State of California that the representations made in this bid are true and correct.

Print or Type Name: \_\_\_\_\_

Title: \_\_\_\_\_

Name of Company as Licensed: \_\_\_\_\_

Business Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

California Contractor License No.: \_\_\_\_\_

Class and Expiration Date: \_\_\_\_\_

State of Incorporation, if Applicable: \_\_\_\_\_

( ) Evidence of authority to bind corporation is attached.

Dated: \_\_\_\_\_, \_\_\_\_\_

Signed: \_\_\_\_\_

END OF DOCUMENT

**DOCUMENT 00 41 26****BID FORM – GENERAL CONSTRUCTION**

Berryessa Union School District  
1376 Piedmont Rd.  
San Jose, CA 95132

Dear Board Members:

The undersigned doing business under the firm name of:

hereby propose and agree to enter into a Contract, to furnish any and all labor, materials, applicable taxes, equipment and services for the completion of Work described hereinafter and in the Contract Documents:

**New District Office  
General Construction  
Bid # B-05-2022-23**

prepared by: McKim Design Group for the amount of:

<b>1</b>	<div style="text-align: right;">_____ Dollars</div> <div>Amount in Words</div> <div>Base Bid – General Construction</div>	\$ _____
<b>2</b>	<div style="text-align: right;">Seventy-Five Thousand Dollars</div> <div>Allowance for Unforeseen Conditions</div>	<b>\$75,000.00</b>
<b>3</b>	<div style="text-align: right;">_____ Dollars</div> <div>Total Amount in Words</div> <div>Base Bid + Allowance</div>	\$ _____

11.1.6.1 Unit Prices

N/A

11.1.6.2 COURSE-OF-CONSTRUCTION INSURANCE REQUIREMENTS

Contractor, during the progress of the Work and until final acceptance of the Work by Owner upon completion of the entire Contract, shall maintain Builder's Risk/Course-of-Construction insurance satisfactory to the Owner, issued on a completed value basis on all insurable Work included under the Contract Documents. This insurance shall insure against all risks, including but not limited to the following perils: vandalism, theft, malicious mischief, fire, sprinkler leakage, civil authority, sonic boom, explosion,

Addendum 3

collapse, flood, earthquake (for projects not solely funded through revenue bonds, limited to earthquakes equivalent to or under 3.5 on the Richter Scale in magnitude), wind, hail, lightning, smoke, riot or civil commotion, debris removal (including demolition) and reasonable compensation for the Architect's services and expenses required as a result of such insured loss. This insurance shall provide coverage in an amount not less than the full cost to repair, replace or reconstruct the Work. Such insurance shall include the Owner, the Architect, and any other person or entity with an insurable interest in the Work as an additional named insured.

The Contractor shall submit to the Owner for its approval all items deemed to be uninsurable under the Builder's Risk/Course-of Construction insurance. The risk of the damage to the Work due to the perils covered by the Builder's Risk/Course-of-Construction insurance, as well as any other hazard which might result in damage to the Work, is that of the Contractor and the surety, and no claims for such loss or damage shall be recognized by the Owner, nor will such loss or damage excuse the complete and satisfactory performance of the Contract by the Contractor.

If written notice of the Award of Contract is mailed, faxed, or delivered to the undersigned at any time before this bid is withdrawn, the undersigned shall, within ten (10) days after the date of such mailing, faxing, or delivering of such notice, execute and deliver an agreement in the form of agreement present in these Contract Documents and give Performance and Payment Bonds in accordance with the specifications and bid as accepted.

The undersigned hereby designates as the office to which such Notice of Award of Contract may be mailed, faxed, or delivered:

---

Our Public Liability and Property Damage Insurance is placed with:

---

Our Workers' Compensation Insurance is placed with:

---

Circular letters, bulletins, addenda, etc., bound with the specifications or issued during the time of bidding are included in the bid, and, in completing the Contract, they are to become a part thereof.

The receipt of the following addenda to the specifications is acknowledged:

Addendum No. \_\_\_\_\_ Date \_\_\_\_\_ Addendum No. \_\_\_\_\_ Date \_\_\_\_\_  
Addendum No. \_\_\_\_\_ Date \_\_\_\_\_ Addendum No. \_\_\_\_\_ Date \_\_\_\_\_

This bid may be withdrawn at any time prior to the scheduled time for the opening of bids or any authorized postponement thereof.

A bidder shall not submit a bid unless the bidder's California contractor's license number appears clearly on the bid, the license expiration date and class are stated, and the bid

Addendum 3

contains a statement that the representations made therein are made under penalty of perjury. Any bid submitted by a contractor who is not licensed pursuant to Business and Professions Code section 7028.15 shall be considered nonresponsive and shall be rejected. Any bid not containing the above information may be considered nonresponsive and may be rejected.

**NOTE:** Each bid must give the full business address of the bidder and be signed by bidder with bidder's usual signature. Bids by partnerships must furnish the full name of all partners and must be signed in the partnership name by a general partner with authority to bind the partnership in such matters, followed by the signature and designation of the person signing. The name of the person signing shall also be typed or printed below the signature. Bids by corporations must be signed with the legal name of the corporation, followed by the name of the state of incorporation and by the signature and designation of the chairman of the board, president or any vice president, and then followed by a second signature by the secretary, assistant secretary, the chief financial officer or assistant treasurer. All persons signing must be authorized to bind the corporation in the matter. The name of each person signing shall also be typed or printed below the signature. Satisfactory evidence of the authority of the officer signing on behalf of a corporation shall be furnished.

The undersigned declares under penalty of perjury under the laws of the State of California that the representations made in this bid are true and correct.

Print or Type Name: \_\_\_\_\_

Title: \_\_\_\_\_

Name of Company as Licensed: \_\_\_\_\_

Business Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

California Contractor License No.: \_\_\_\_\_

Class and Expiration Date: \_\_\_\_\_

State of Incorporation, if Applicable: \_\_\_\_\_

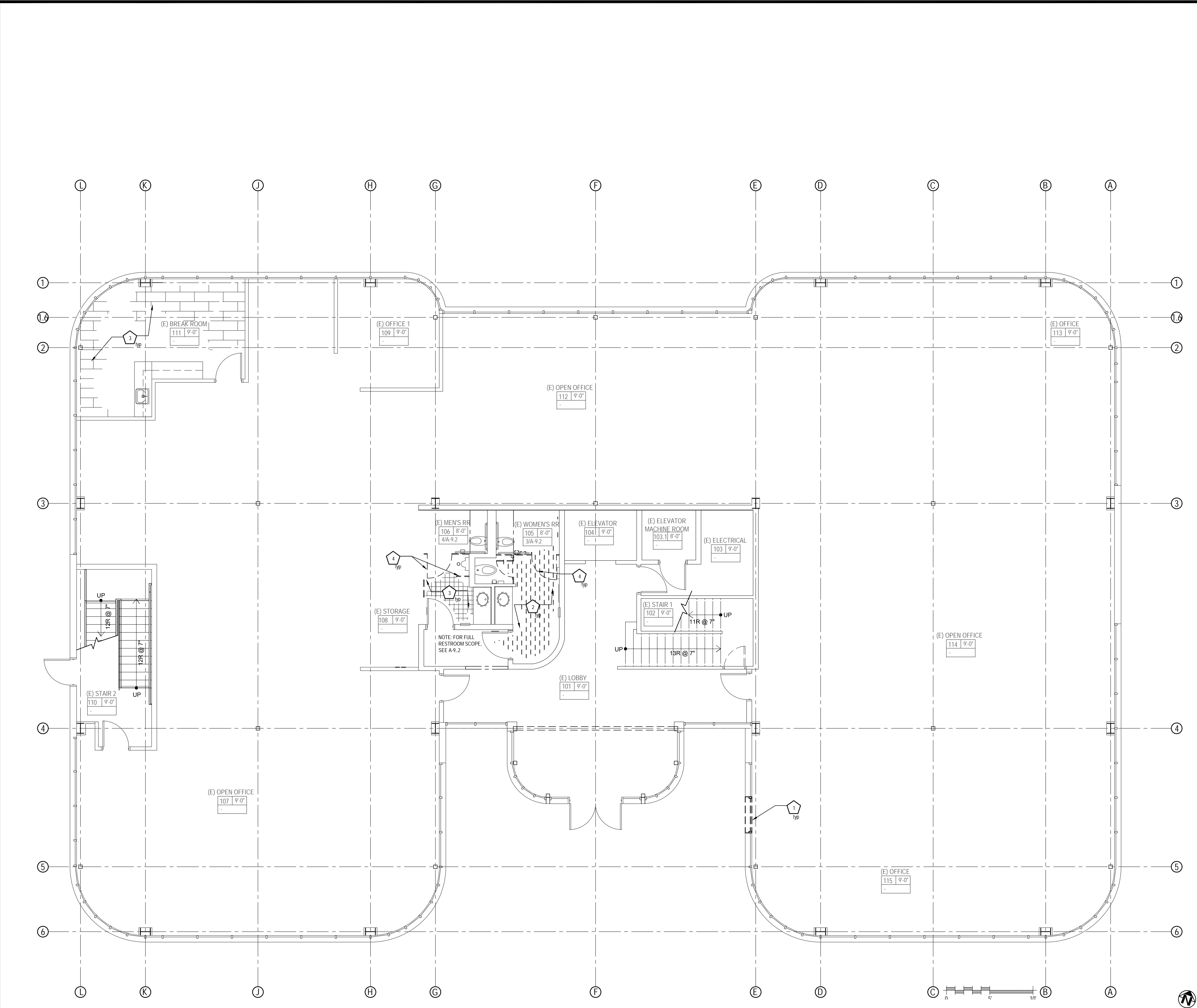
( ) Evidence of authority to bind corporation is attached.

Dated: \_\_\_\_\_, \_\_\_\_\_

Signed: \_\_\_\_\_

END OF DOCUMENT





1

DEMO FLOOR PLAN- FIRST FLOOR

3/16" = 1'-0"

GENERAL NOTES

1. A-2.1 and A-2.2 Demolition Floor Plans are provided for reference only, scope has been completed by others, unless noted otherwise below in Demolition Keynotes, typ.

DEMOLITION KEYNOTES

1

(E) Storefront window and brick veneer exterior finish to be removed to receive exterior storefront door. Contractor to include this scope in Bid.

2

(E) Flooring finish and integral coved based to be demolished throughout, unless noted otherwise. Contractor to include this scope in Bid.

3

(E) Flooring in Break Room (first floor), Bathrooms (first floor mens, second floor mens and second floor womens) to remain, typ.

4

(E) Toilet partitions to be demolished. Associated restroom accessories including but not limited to grab bars, toilet paper dispenser, sanitary napkin disposal, etc. are to be salvaged and reinstalled. Contractor to include this scope in Bid.

DEMO PLAN LEGEND

(E) Partition wall to remain

(E) Flooring material to be demolished, typ.  
General Contractor to include this scope in Bid.

(E) LVT flooring material to remain, typ.

(E) Ceramic flooring tile to remain, typ.

(E) Door to remain, typ.

Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7

McKim Design Group

4595 Cherry Avenue, First Floor, San Jose, CA 95118  
ph. (408) 927-8110 fax (408) 927-8112

Engineer Seal

Architect Seal

Project Title

DISTRICT OFFICE T1  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

No	Revisions/Submissions	Date
1	DSA Submittal_V1	July 19, 2022
2	District/ CM Comments	Oct. 6, 2022
3	Addendum No. 3	Oct. 21, 2022

Drawing Title

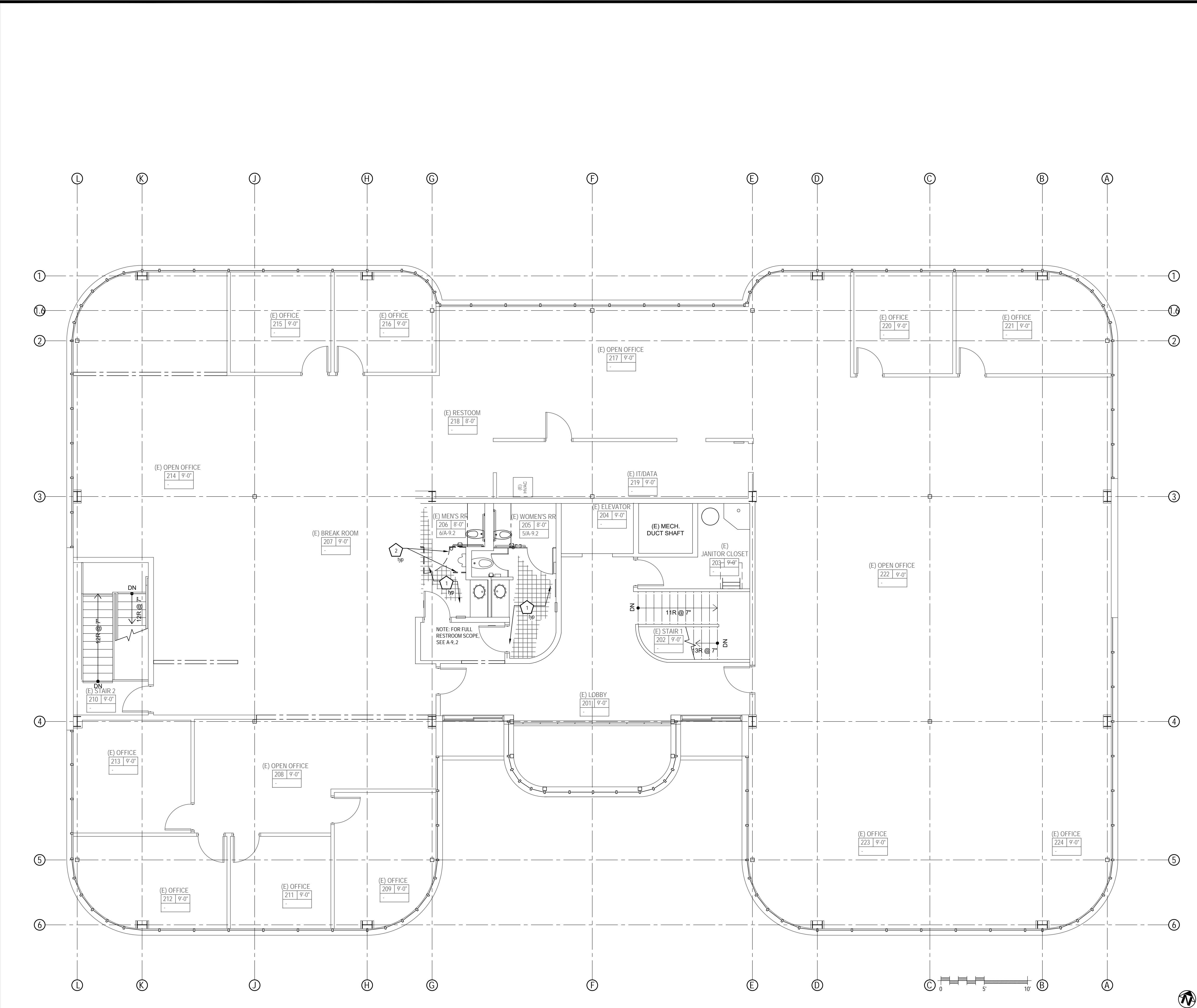
DEMOLITION FLOOR PLAN  
FIRST FLOOR

Project No.  
2203

Date  
July 19, 2022

CD

Drawing Number  
A-2.1



1

DEMO FLOOR PLAN- SECOND FLOOR

3/16" = 1'-0"

GENERAL NOTES

1. A-2.1 and A-2.2 Demolition Floor Plans are provided for reference only, scope has been completed by others, unless noted otherwise below in Demolition Keynotes, typ.

DEMOLITION KEYNOTES

- 1
- (E) Flooring in Bathrooms (second floor mens and second floor womens) to remain, typ.

(E) Toilet partitions to be demolished. Associated restroom accessories including but not limited to grab bars, toilet paper dispenser, sanitary napkin disposal, etc. are to be salvaged and reinstalled. Contractor to include this scope in Bid.

DEMO PLAN LEGEND

- (E) Partition wall to remain

(E) Ceramic flooring tile to remain, typ.

(E) Door to remain, typ.
- Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7

McKim Design Group

4595 Cherry Avenue, First Floor, San Jose, CA 95118  
ph. (408) 927-8110 fax (408) 927-8112

Engineer Seal

Architect Seal

Project Title

DISTRICT OFFICE TI

981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

No	Revisions/Submissions	Date
1	DSA Submittal_V1	July 19, 2022
2	District/ CM Comments	Oct. 6, 2022
3	Addendum No. 3	Oct. 21, 2022

Drawing Title

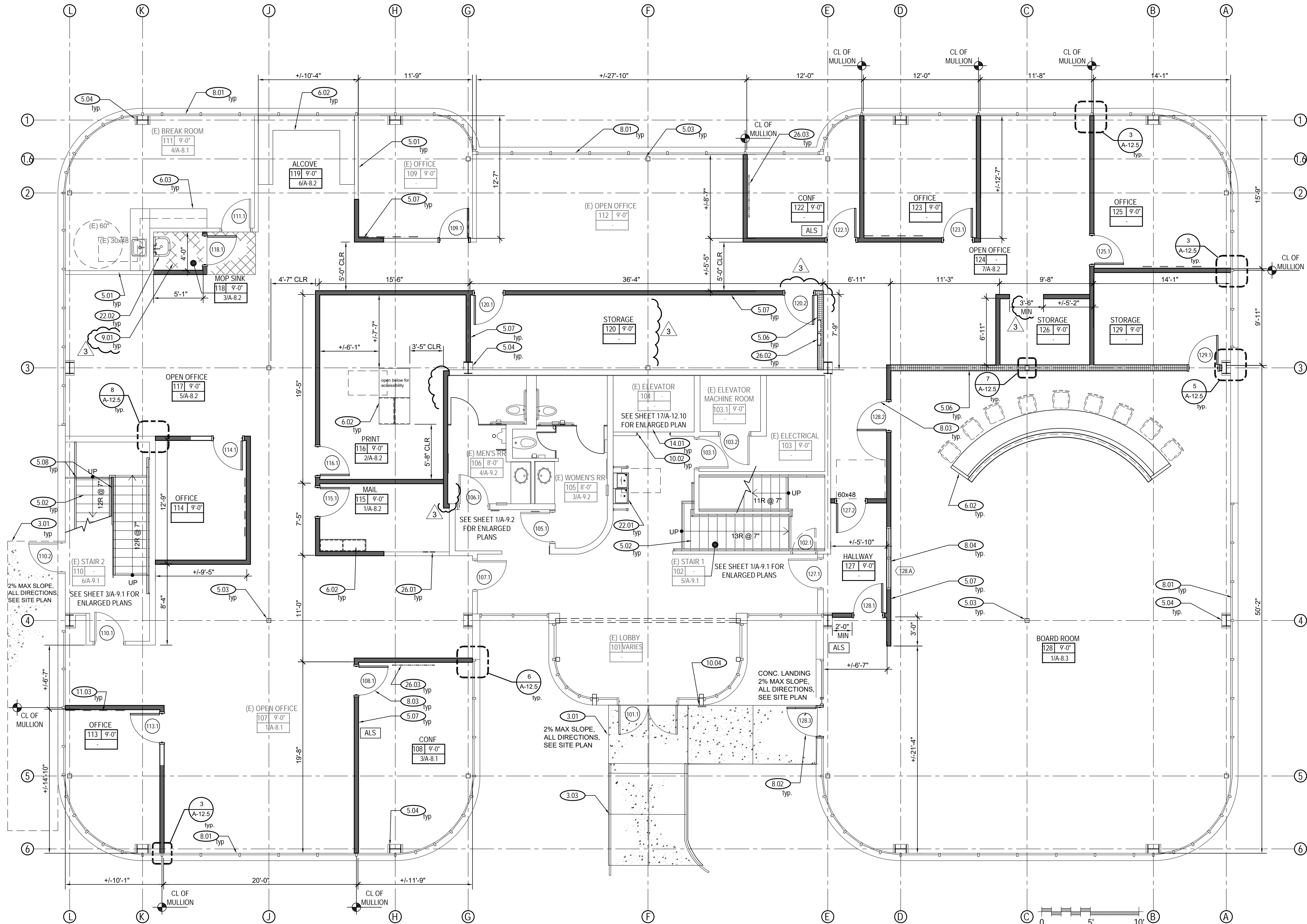
DEMOLITION FLOOR PLAN  
SECOND FLOOR

Project No.  
2203

Date  
July 19, 2022

CD

Drawing Number  
A-2.2



1 FLOOR PLAN - FIRST FLOOR

FLOOR PLANS - GENERAL NOTES

- Contractor is to protect all existing items to remain. Apply and maintain protective plastic sheeting at all items to remain, typ.
- Refer to all drawings and specifications for entire scope of work
- Clean all rooms at the completion of the project. This includes, but is not limited to all exposed cabinet surfaces, windows, doors, flooring, etc.
- Dimensions indicated are +/- per the District's set of as-built plans and are intended for reference only. Contractor is to field verify all dimensions prior to the commencement of work.
- Not all sides of rooms nor all walls of every room are shown. Contractor is to field verify and coordinate with the field conditions to confirm that all walls, ceilings, soffits, etc are included in the bid.
- Contractor to verify entire scope of work with hazardous materials report prior to beginning of construction.
- Where mechanical, plumbing or electrical work is noted to be concealed within (E) walls, soffits, ceilings, etc., cut and patch (E) surfaces as noted above.
- Install sound insulation in ALL new walls to completely fill wall cavity- see
- Maximum door opening effort at all interior and exterior doors shall be 5 lbs. Test existing doors and adjust force as required to meet this requirement.
- Provide transition pieces between different flooring material at all locations, typ.

9.10 FLOOR PLAN KEY NOTES

- 3.01 (E) Concrete walkway to remain
- 3.02 Concrete landing and walkway, see site plan and details on Sheet A-12.2
- 3.03 Handrails at exterior ramp, see detail on 10/A-12.2
- 5.01 (E) Partition wall to remain. Prep and clean existing gyp bd wall for repainting, typ.
- 5.02 (E) Stairs to remain
- 5.03 (E) HSS post to remain
- 5.04 (E) Wide flange post inside (E) gyp furring to remain. Resurface as needed and repaint all existing gyp bd walls.
- 5.05 Not used.
- 5.06 4" metal stud partition wall at 16" OC, typ.
- 5.07 4" metal stud partition wall at 16" OC, typ.
- 5.08 1-1/2" O.D. galvanized steel cane detector/ barrier, typ.
- 6.01 Not used.
- 6.02 Casework, typ- see interior elevations and details on A-12.6
- 6.03 (E) Casework, appliances, floor finish to remain, typ.
- 7.01 (E) Aluminum ladder and roof hatch
- 8.01 (E) Aluminum storefront to remain
- 8.02 Door into (E) aluminum storefront system, see detail X/A-12.6
- 8.03 Door system, typ. - see schedule
- 8.04 Window system, typ. - see schedule
- 9.01 VCT flooring and base, typ.
- 10.01 Not used.
- 10.02 (E) Elevator hoistway signage on both sides of jambs, typ. See detail 18/A-12.10
- 10.03 Emergency communication and associated signage, typ. See detail on A-12.10
- 10.04 ISA signage, typ. See detail 6/A-12.10
- 11.01 Refrigerator, typ.
- 11.02 Overl stove range & hood, typ.
- 11.03 6"x4" whiteboard to be installed in Offices, typ. See detail 12/A-12.5
- 14.01 (E) Elevator to remain
- 22.01 Accessible hi-to drinking fountain with bottle filler. Provide power to unit, see plumbing and electrical plans.
- 22.02 Wall mounted service sink, see plumbing plans for additional information.
- 22.03 Sink, refer to plumbing plans for addition information.
- 26.01 (E) Electrical panel to remain
- 26.02 Electrical panels, coordinate with Electrical drawings.
- 26.03 60" TV screen at Conference rooms, provide blocking as required, typ. Coordinate with District on final location.

FLOOR PLAN LEGEND

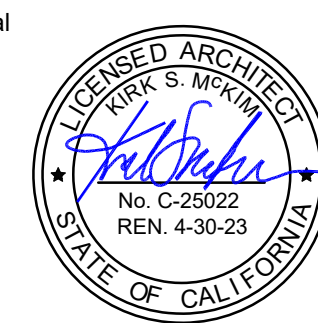
- (E) Wall to remain
- 4x metal stud wall, see sheet A-12.5 for details
- 6x metal stud wall, see sheet A-12.5 for details
- VCT & base - See finish schedule  
Color to be selected by Architect
- Site concrete, see Site Plan
- Window, see window schedule
- Restroom Sign (at RR only)
- Room ID Signage
- Refer to door schedule for locations/types of signage req'd
- Exit Signage
- ALS Assistive Listening System. See 4/A-12.10 for details
- 6"x4" Whiteboard to be provided in Offices, typ.
- 60" TV to be mounted in Conferences, typ. Coordinate with District on final location

Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal



Project Title

DISTRICT OFFICE TI  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
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2	District/ CM Comments	Oct. 6, 2022
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Drawing Title

FLOOR PLAN  
FIRST FLOOR

Project No.

2203

Date

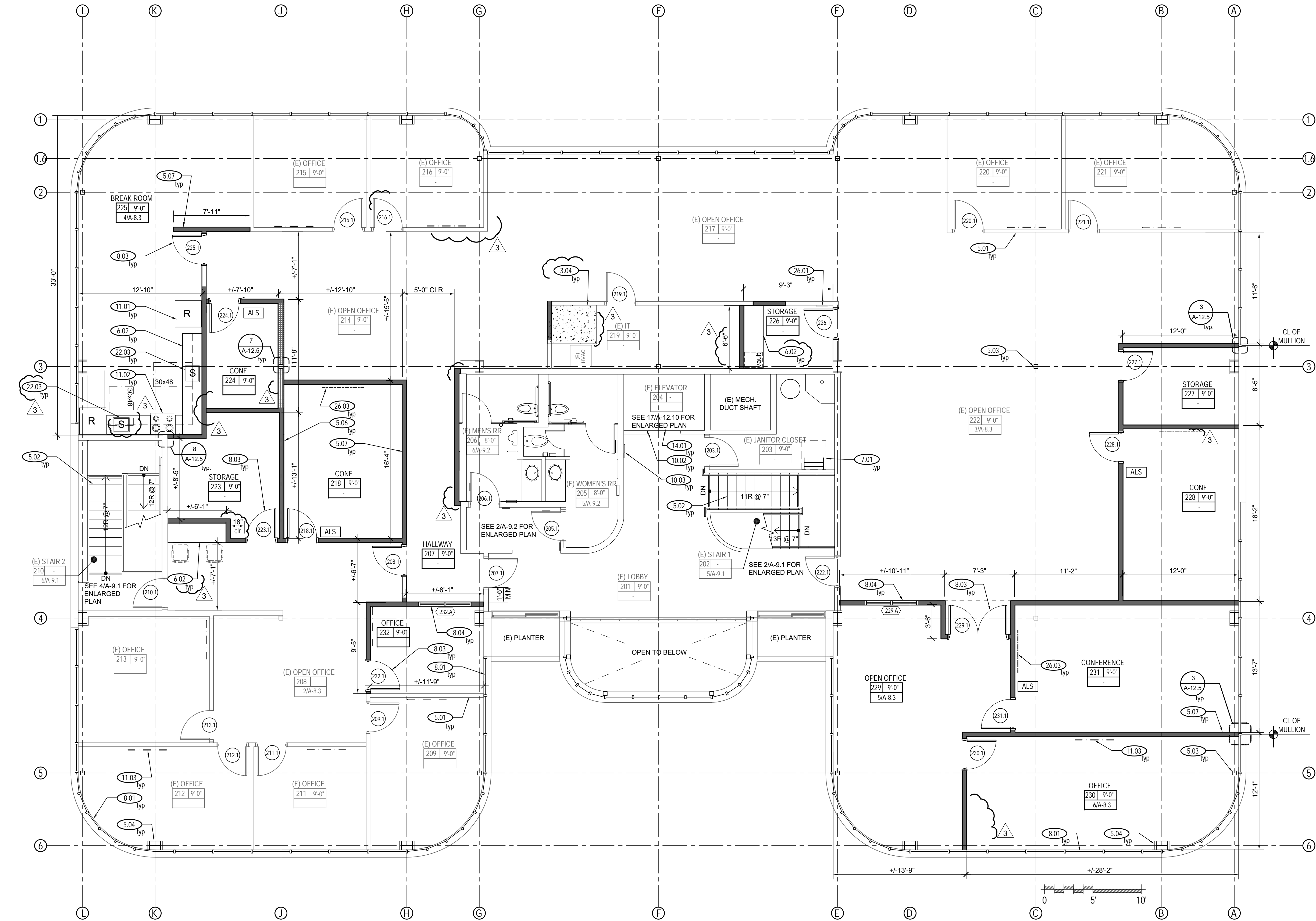
July 19, 2022

CD

Drawing Number

A-3.1

3/16" = 1'-0"



1 FLOOR PLAN - SECOND FLOOR

FLOOR PLANS - GENERAL NOTES

- Contractor is to protect all existing items to remain. Apply and maintain protective plastic sheeling at all items to remain, typ.
- Refer to all drawings and specifications for entire scope of work
- Clean all rooms at the completion of the project. This includes, but is not limited to all exposed cabinet surfaces, windows, doors, flooring, etc.
- Dimensions indicated are +/- per the District's set of as-built plans and are intended for reference only. Contractor is to field verify all dimensions prior to the commencement of work.
- Not all sides of rooms nor all walls of every room are shown. Contractor is to field verify and coordinate with the field conditions to confirm that all walls, ceilings, soffits, etc are included in the bid.
- Contractor to verify entire scope of work with hazardous materials report prior to beginning of construction.
- Where mechanical, plumbing or electrical work is noted to be concealed within (E) walls, soffits, ceilings, etc...cut and patch (E) surfaces as noted above.
- Install sound insulation in ALL new walls to completely fill wall cavity- see 5.04
- Maximum door opening effort at all interior and exterior doors shall be 5 lbs. Test existing doors and adjust force as required to meet this requirement.
- Provide transition pieces between different flooring material at all locations, typ.

9.10 FLOOR PLAN KEY NOTES

- 3.01 (E) Concrete walkway to remain
- 3.02 Concrete landing and walkway, see site plan and details on Sheet A-12.2
- 3.03 Handrails at exterior ramp, see detail on 10A-12.2
- 3.04 Concrete in-fill at demolished shower curb
- 5.01 (E) Partition wall to remain. Prep and clean existing gyp bd wall for repainting, typ.
- 5.02 (E) Stairs to remain
- 5.03 (E) HSS post to remain
- 5.04 (E) Wide flange post inside (E) gyp furring to remain. Resurface as needed and repaint all existing gyp bd walls.
- 5.05 Not used.
- 5.06 6" metal stud partition wall at 16" OC, typ.
- 5.07 4" metal stud partition wall at 16" OC, typ.
- 6.01 Not used.
- 6.02 Casework, typ- see interior elevations and details on A-12.6
- 6.03 (E) Casework, appliances, floor finish to remain, typ.
- 7.01 (E) Aluminum ladder and roof hatch
- 8.01 (E) Aluminum storefront to remain
- 8.02 Door into (E) aluminum storefront system, see detail XIA-12.6
- 8.03 Door system, typ. - see schedule
- 8.04 Window system, typ. - see schedule
- 9.01 VCT flooring on base, typ.
- 10.01 Not used.
- 10.02 (E) Elevator hoistway signage on both sides of jambs, typ. See detail 18A-12.10
- 10.03 Emergency communication and associated signage, typ. See detail on A-12.10
- 10.04 ISA signage, typ. See detail 6A-12.10
- 11.01 Refrigerator, typ.
- 11.02 Oven/stove range & hood, typ.
- 11.03 6"x4" whiteboard to be installed in Offices, typ. See detail 12A-12.5
- 14.01 (E) Elevator to remain
- 22.01 Accessible hi-to drinking fountain with bottle filler. Provide power to unit, see plumbing and electrical plans.
- 22.02 Wall mounted service sink, see plumbing plans for additional information.
- 22.03 Sink, refer to plumbing plans for addition information.
- 26.01 (E) Electrical panel to remain
- 26.02 Electrical panels, coordinate with Electrical drawings.
- 26.03 60" TV screen at Conference rooms, provide blocking as required, typ. Coordinate with District on final location.

FLOOR PLAN LEGEND

- (E) Wall to remain
- 4x metal stud wall, see sheet A-12.5 for details
- 6x metal stud wall, see sheet A-12.5 for details
- VCT & base - See finish schedule
- Site concrete, see A-0.2
- Window, see window schedule
- Restroom Sign (at RR only)
- Room ID Signage
- Refer to door schedule for locations/types of signage req'd
- Exit Signage
- ALS Assistive Listening System. See 4/A-12.10 for details
- 6"x4" Whiteboard to be provided in Offices, typ.
- 60" TV to be mounted in Conferences, typ. Coordinate with District on final location

1/8" = 1'-0"

Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

DISTRICT OFFICE TI  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

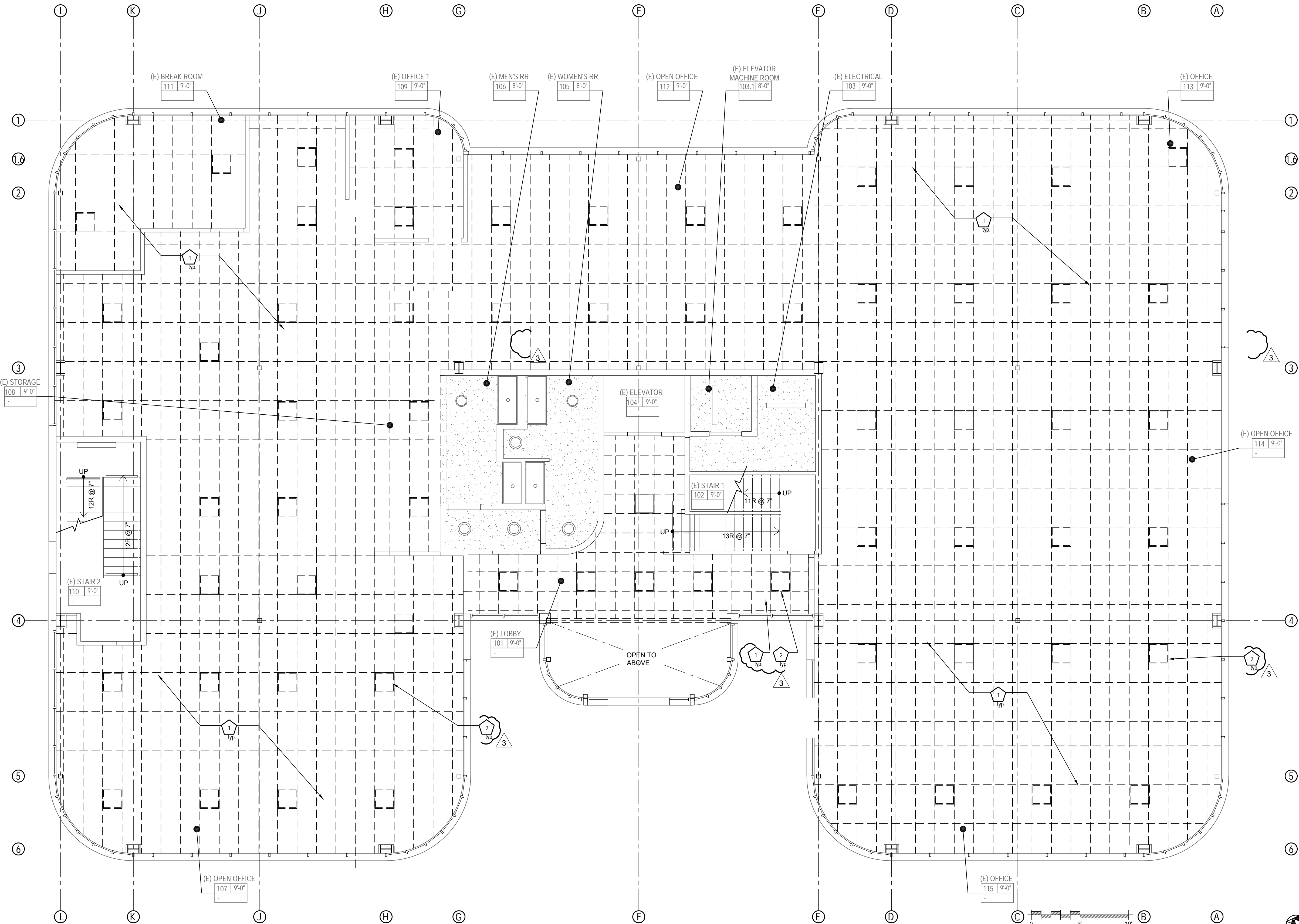
No	Revisions/Submissions	Date
1	DSA Submittal_V1	July 19, 2022
2	District/ CM Comments	Oct. 6, 2022
3	Addendum No. 3	Oct. 21, 2022

Drawing Title

FLOOR PLAN  
SECOND FLOOR

Project No. 2203 Date July 19, 2022

CD Drawing Number A-3.2



### GENERAL NOTES

1. Refer to and coordinate with Electrical, Plumbing and Mechanical drawings for additional scope of work.

### DEMOLITION KEYNOTES

- 1 (E) T-bar grid and tiles to be demolished by others.
- 2 (E) Light fixtures to be removed and stored, scope is done by others. Contractor to install (E) OFCI light fixtures in t-bar ceiling system, typ.
- 3 (E) Light fixtures to be salvaged for reuse (by others), typ.

### REFLECTED CEILING PLAN LEGEND

- (E) Wall to remain
- (E) Gyp. board ceiling finish to remain. Protect during construction, typ.
- (E) Gyp. board ceiling finish to be demolished.
- (E) T-bar ceiling system to be demolished, typ.
- (E) Light fixtures to be salvaged for reuse (by others), typ.

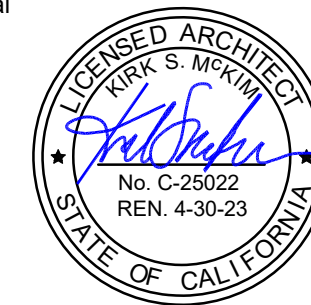
Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

**DISTRICT OFFICE TI**  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

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BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

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3	Addendum No. 3	Oct. 21, 2022

Drawing Title

**DEMOLITION  
REFLECTED CEILING PLAN  
FIRST FLOOR**

Project No.

2203

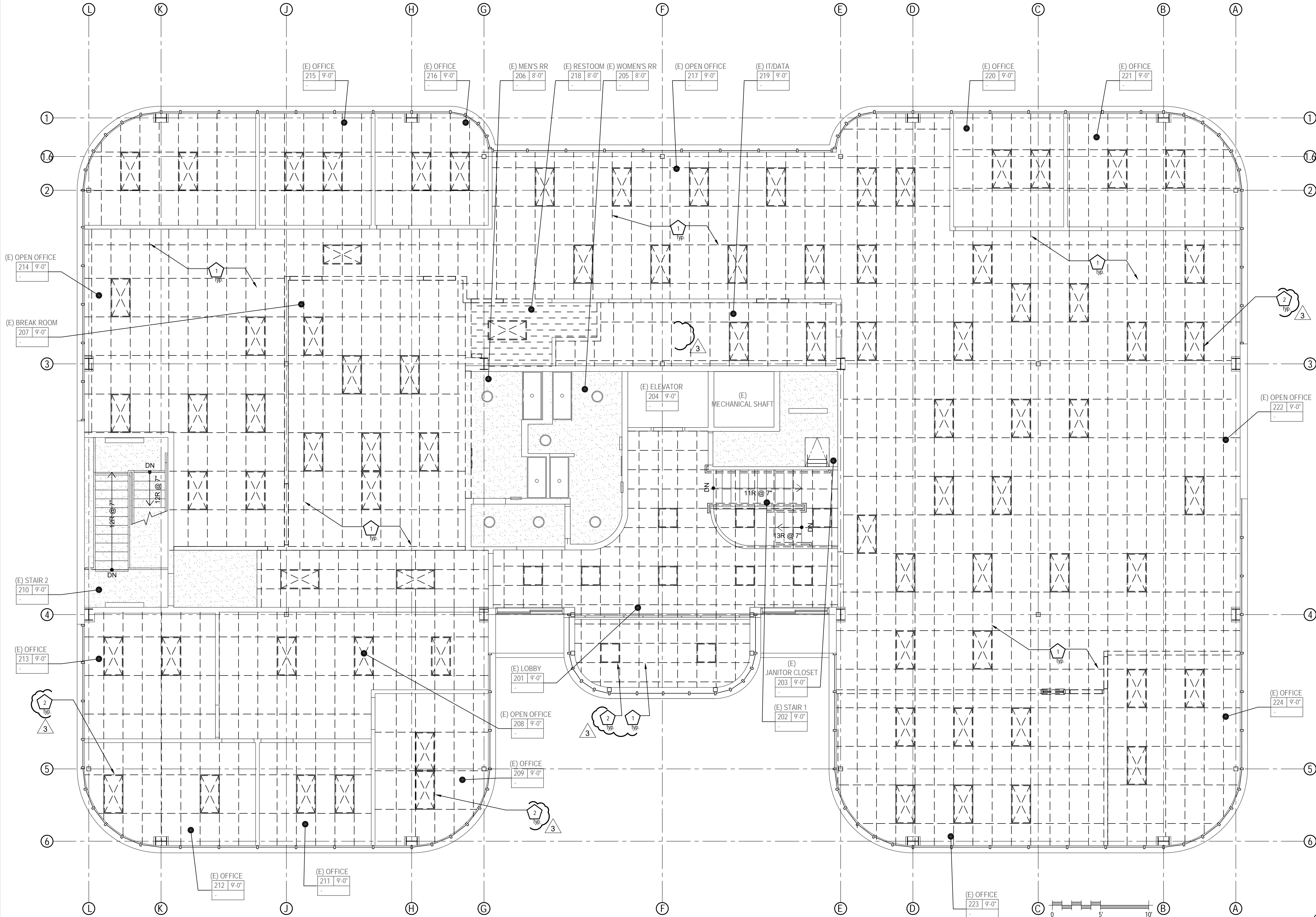
Date

July 19, 2022

**CD**

Drawing Number

**A-4.1**



GENERAL NOTES

1. Refer to and coordinate with Electrical, Plumbing and Mechanical drawings for additional scope of work.

DEMOLITION KEYNOTES

- 1 (E) T-bar grid and tiles to be demolished by others.  
2 (E) Light fixtures to be removed and disposed by others.



REFLECTED CEILING PLAN LEGEND

- (E) Wall to remain  
(E) Gyp. board ceiling finish to remain. Protect during construction, typ.  
(E) Gyp. board ceiling finish to be demolished.  
(E) T-bar ceiling system to be demolished, typ.  
(E) Light fixtures to be demolished, typ.

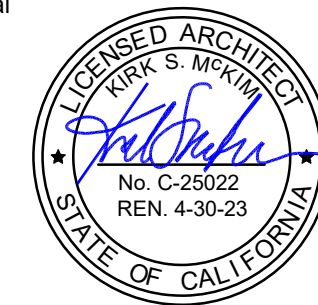
Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

DISTRICT OFFICE TI  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

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1	DSA Submittal_V1	July 19, 2022
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3	Addendum No. 3	Oct. 21, 2022

Drawing Title

DEMOLITION  
REFLECTED CEILING PLAN  
SECOND FLOOR

Project No.

2203

Date

July 19, 2022

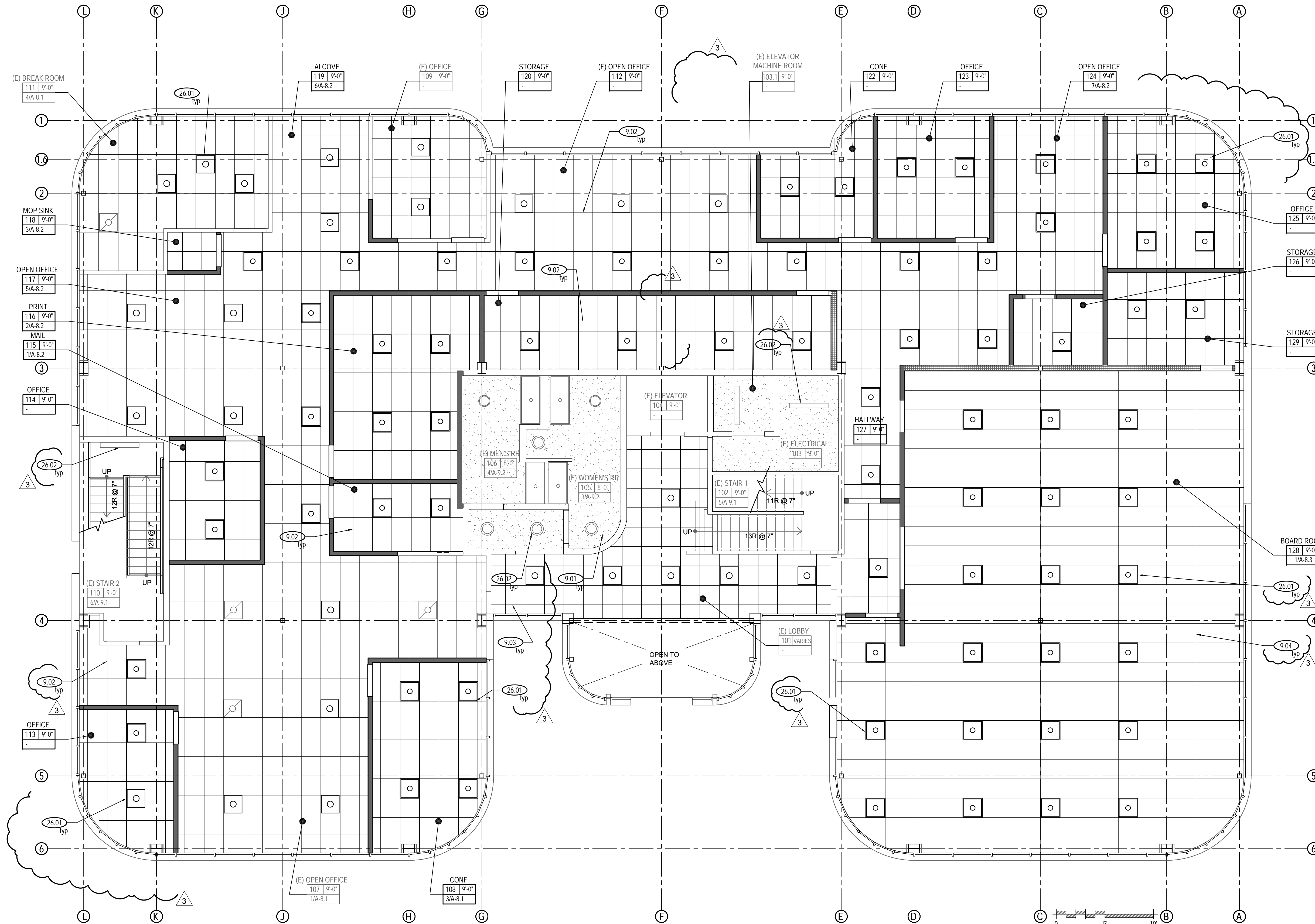
CD

Drawing Number

A-4.2

1 DEMOLITION REFLECTED CEILING PLAN

3/16" = 1'-0"



## REFLECTED CEILING PLAN - GENERAL NOTES

1. Protect all (E) ceiling systems, beams, lights, HVAC, which are to remain, typ.
2. All walls are to the underside of existing tbar grid. Except where there are existing rated walls.
3. Contractor to locate any (E) cracks at existing gyp bd finishes at ceiling/ soffits re-tape and texture to match (E) surface prior to painting, typ.
4. Coordinate with all notes, legends, elevations, and all other plans for entire scope of work.

## 9.10 RCPC KEY NOTES

- 9.01 (E) Gyp board soffit, paint, typ.
- 9.02 Type 1 T-bar ceiling grid system with Second Look Ceiling tiles throughout.
- 9.03 Type 2 T-bar ceiling grid system with Cirrus Regular tiles throughout.
- 9.04 Type 3 T-bar ceiling grid system with Optima PB Vector tiles throughout.
- 26.01 (E) Light fixture previously salvaged to be reinstalled by Contractor, typ. of First Floor. Note: Lighting locations shown here are diagrammatic and may require adjustment in the field. Coordinate with electrical plans, specifications, and details for fully coordinated scope of work, typ.
- 26.02 (E) Light fixtures in gyp bd ceiling to remain, protect during construction, typ.

## REFLECTED CEILING PLAN LEGEND

- (E) Wall to remain
- 4x metal stud wall, see sheet A-12.5 for details
- 6x metal stud wall, see sheet A-12.5 for details
- (E) Gyp. board ceiling finish to remain, paint Protect during construction, typ
- Type 1- T-bar grid with 24x48 ceiling tiles typ. Tiles to be Second look ceiling tiles, confirm with District.
- Type 2- T-bar grid with 24x24 ceiling tiles typ. Tiles to be Cirrus Regular, confirm with District.
- Type 3- T-bar grid with 24x96 size ceiling tiles typ. See specifications
- (E) Salvaged light fixtures to be reinstalled, see electrical, typ.

Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

**DISTRICT OFFICE TI**  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

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BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

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3	Addendum No. 3	Oct. 21, 2022

Drawing Title

**REFLECTED CEILING PLAN  
FIRST FLOOR**

Project No. 2203 Date July 19, 2022

CD Drawing Number **A-4.3**



Engineer Seal

Architect Seal



Project Title

DISTRICT OFFICE TI  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

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Drawing Title

REFLECTED CEILING PLAN  
SECOND FLOOR

Project No. 2203 Date July 19, 2022

CD Drawing Number A-4.4

REFLECTED CEILING PLAN -  
GENERAL NOTES

1. Protect all (E) ceiling systems, beams, lights, HVAC, which are to remain, typ.
2. All walls are to the underside of existing tbar grid. Except where there are existing rated walls.
3. Contractor to locate any (E) cracks at existing gyp bd finishes at ceiling/ soffits re-tape and texture to match (E) surface prior to painting.
4. Coordinate with all notes, legends, elevations, and all other plans for entire scope of work.

9.10 RCP KEY NOTES

- 9.01 (E) Gyp board soffit, paint, typ.  
9.02 Type 1 T-bar ceiling grid system with Second Look Ceiling tiles throughout.  
9.03 Type 2 T-bar ceiling grid system with Cirrus Tegular tiles throughout.
- 26.01 (E) Light fixtures in gyp bd ceiling to remain, protect during construction, typ.  
26.02 Light fixture, see electrical plans, typ. Note: Lighting locations shown here are diagrammatic and may require adjustment in the field. Coordinate with electrical plans, specifications, and details for fully coordinated scope of work, typ.

REFLECTED CEILING PLAN LEGEND

- (E) Wall to remain
- 4x metal stud wall, see sheet A-12.5 for details
- 6x metal stud wall, see sheet A-12.5 for details
- (E) Gyp. board ceiling finish to remain, paint  
Protect during construction, typ.
- Type 1- T-bar grid with 24x48 ceiling tiles, typ. Tiles to be Second look ceiling tiles, confirm with District.
- Type 2- T-bar grid with 24x24 ceiling tiles, typ. Tiles to be Cirrus Tegular, confirm with District.
- Type 3- T-bar grid with 24x96 size ceiling tiles, typ. See specifications
- Light fixtures, see electrical, typ.





5.01 (E) Steel column to be painted, typ.  
5.02 (E) Wide flange post with (E) gyp bd furring to be painted, typ.

6.01 Casework, typ. Provide blocking in wall as required for layouts  
Refer to details on A-12.6 for casework attachment.  
6.02 (E) Casework to remain, typ.  
6.03 P-lam countertop with support brackets, typ. See detail 8/A-12.  
6.04 P-lam countertop at casework, typ.  
6.05 4" backsplash, typ.

- 26.01 (F) Electrical panel to remain

 Painted gyp board, type 1

Client

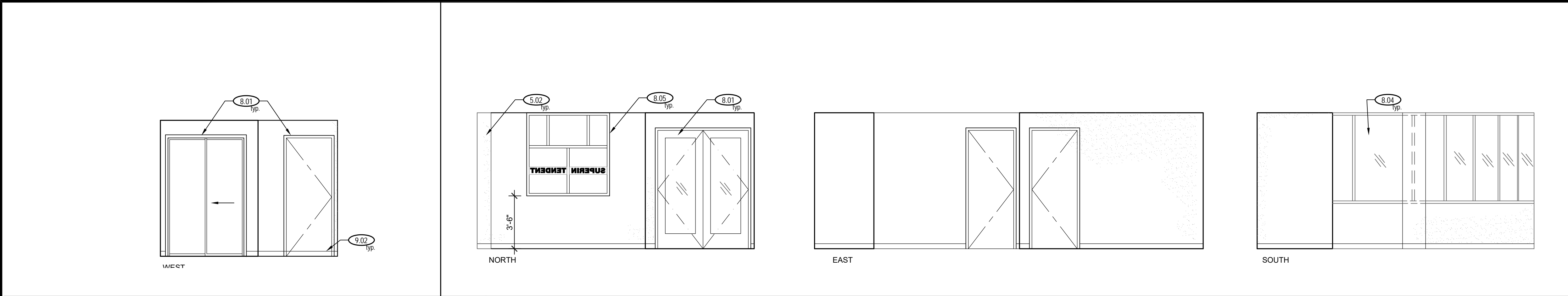
No	Revisions/Submissions	Date
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Drawing Title

Project No. \_\_\_\_\_

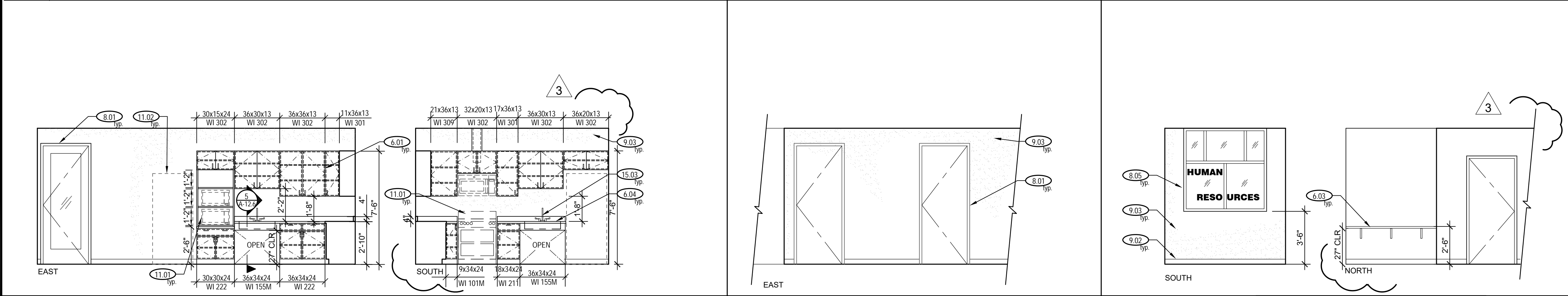
No.	Date
2203	July 19, 2022

Drawing Number  
A-8



6 OFFICE 230  
1/4" = 1'-0"

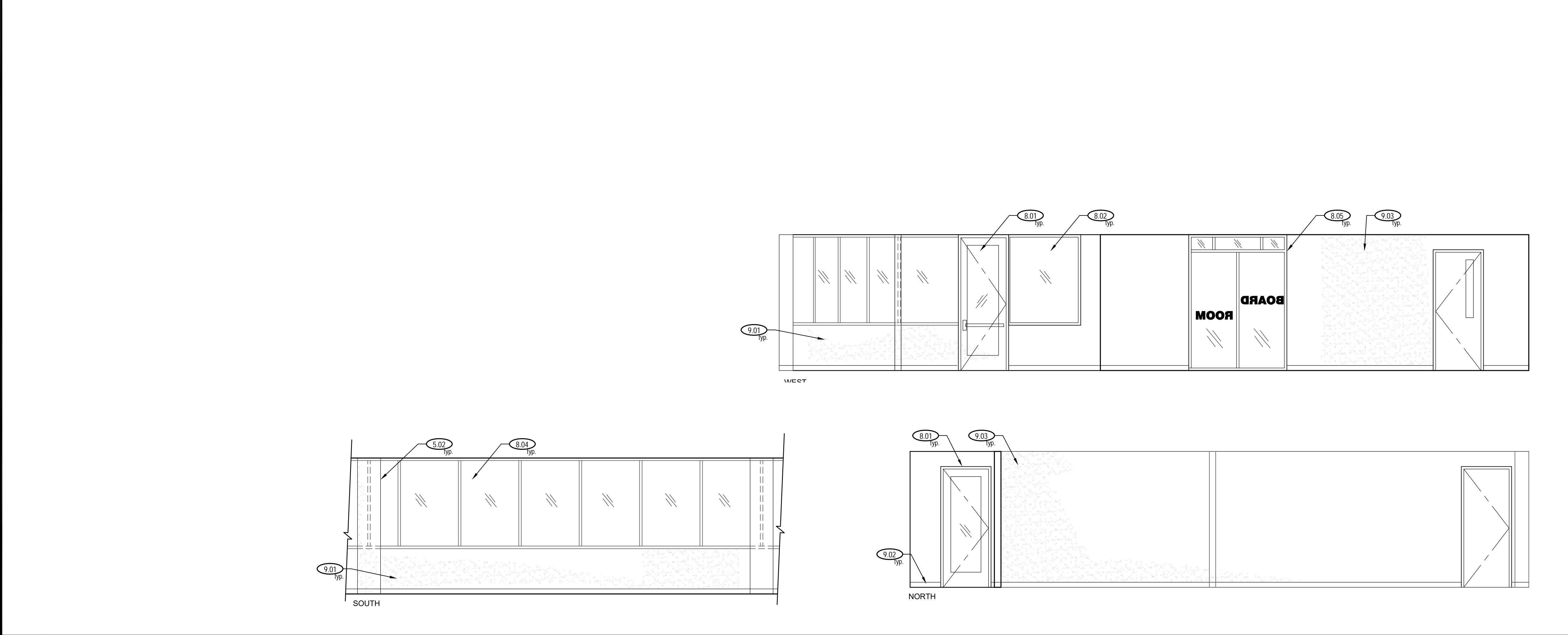
5 OPEN OFFICE 229  
1/4" = 1'-0"



4 BREAK ROOM 225  
1/4" = 1'-0"

3 (E) OPEN OFFICE 222  
1/4" = 1'-0"

2 HALLWAY 207  
1/4" = 1'-0"



1 BOARD ROOM 128  
1/4" = 1'-0"

INTERIOR ELEVATION KEYNOTES

- 5.01 (E) Steel column to be painted, typ.  
5.02 (E) Wide flange post with (E) gyp bd furring to be painted, typ.
- 6.01 Casework, typ. Provide blocking in wall as required for layouts shown. Refer to details on A-12.6 for casework attachment.  
6.02 (E) Casework to remain, typ.  
6.03 P-lam countertop with support brackets, typ. See detail 8/A-12.6  
6.04 P-lam countertop at casework, typ.  
6.05 4" backsplash, typ.
- 8.01 Door & door frame, typ.  
8.02 Window system, typ.  
8.03 (E) Door system to remain, typ.  
8.04 (E) Window system to remain, typ.  
8.05 Window system with frosted window film and graphic, typ. Contractor to coordinate with Architect on size, letter, color of graphic, location, etc.
- 9.01 (E) Gyp bd to be retextured and painted, typ.  
9.02 Wall base - see finish schedule, typ.  
9.03 Gyp. bd, paint, typ.  
9.04 (E) Ceramic tile to remain, typ.  
9.05 FRP panel, typ. Color to be selected by Architect.  
9.06 Ceramic wall tile, typ.
- 11.01 Microwave over the range with hood  
11.02 Refrigerator  
11.03 6'x4' whiteboard. Coordinate with District for final mounting location.
- 14.01 (E) Elevator
- 15.01 Hi-low drinking fountain with bottle filler, typ. See details on 12/A-12.10  
15.02 Wall mounted service sink  
15.03 Sink
- 26.01 (E) Electrical panel to remain

INTERIOR ELEVATION LEGEND



Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

DISTRICT OFFICE T1  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

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Drawing Title

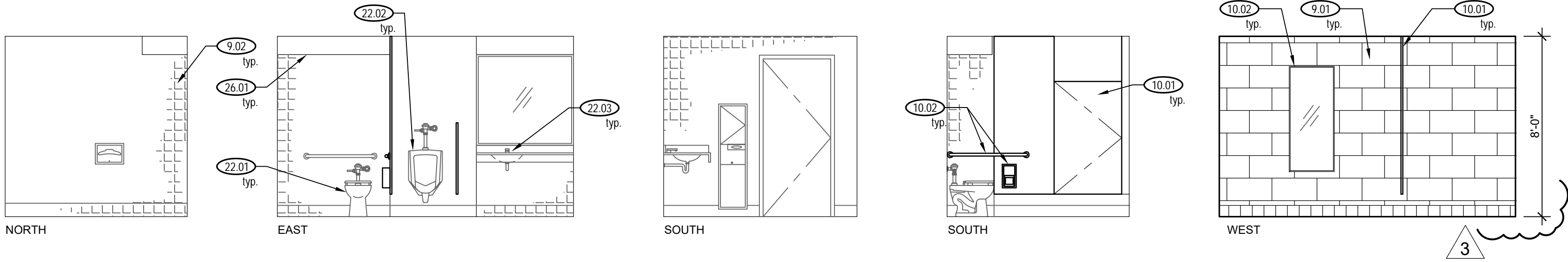
INTERIOR ELEVATIONS

Project No.  
2203

Date  
July 19, 2022

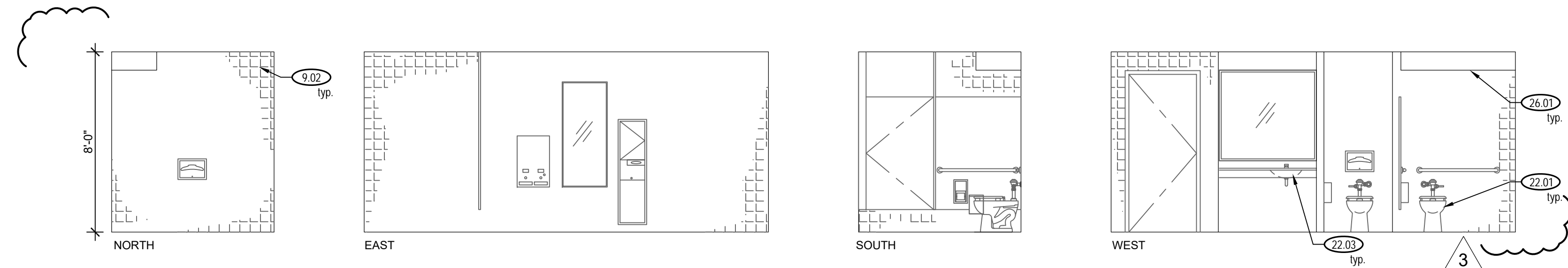
CD

Drawing Number  
A-8.3



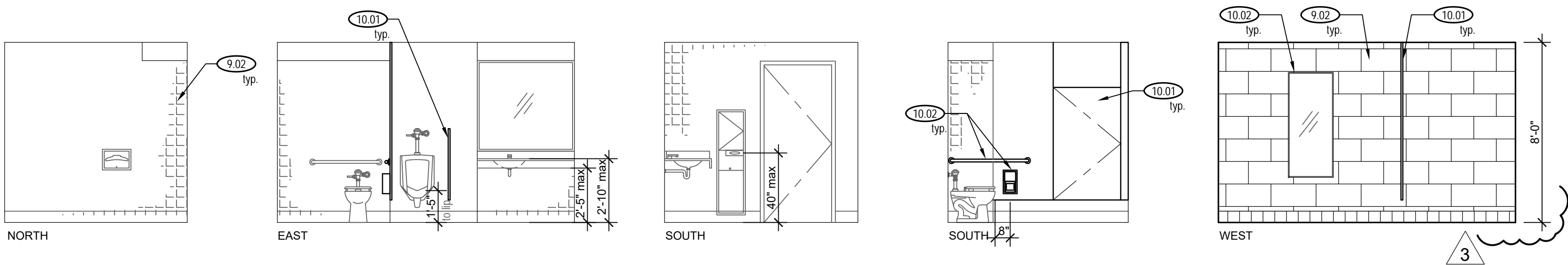
#### 6 INTERIOR ELEVATIONS- (E) MEN'S RESTROOM 206

1/4" = 1'-0"



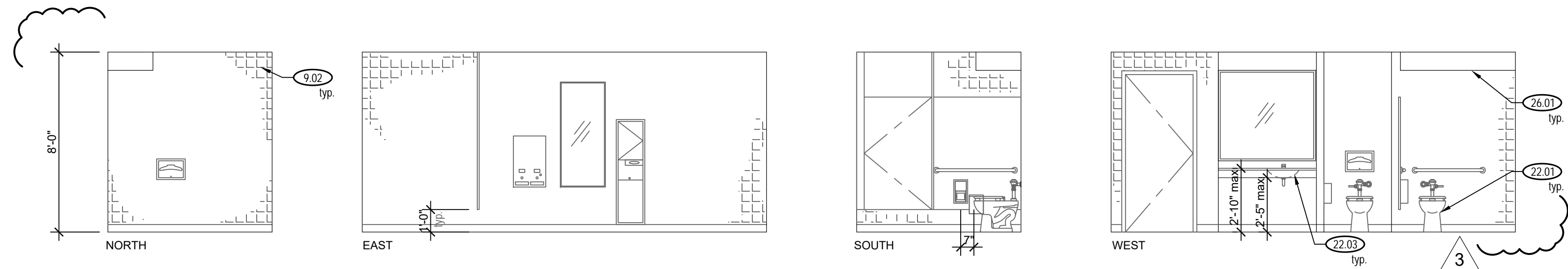
#### 5 INTERIOR ELEVATIONS- (E) WOMEN'S RESTROOM 205

1/4" = 1'-0"



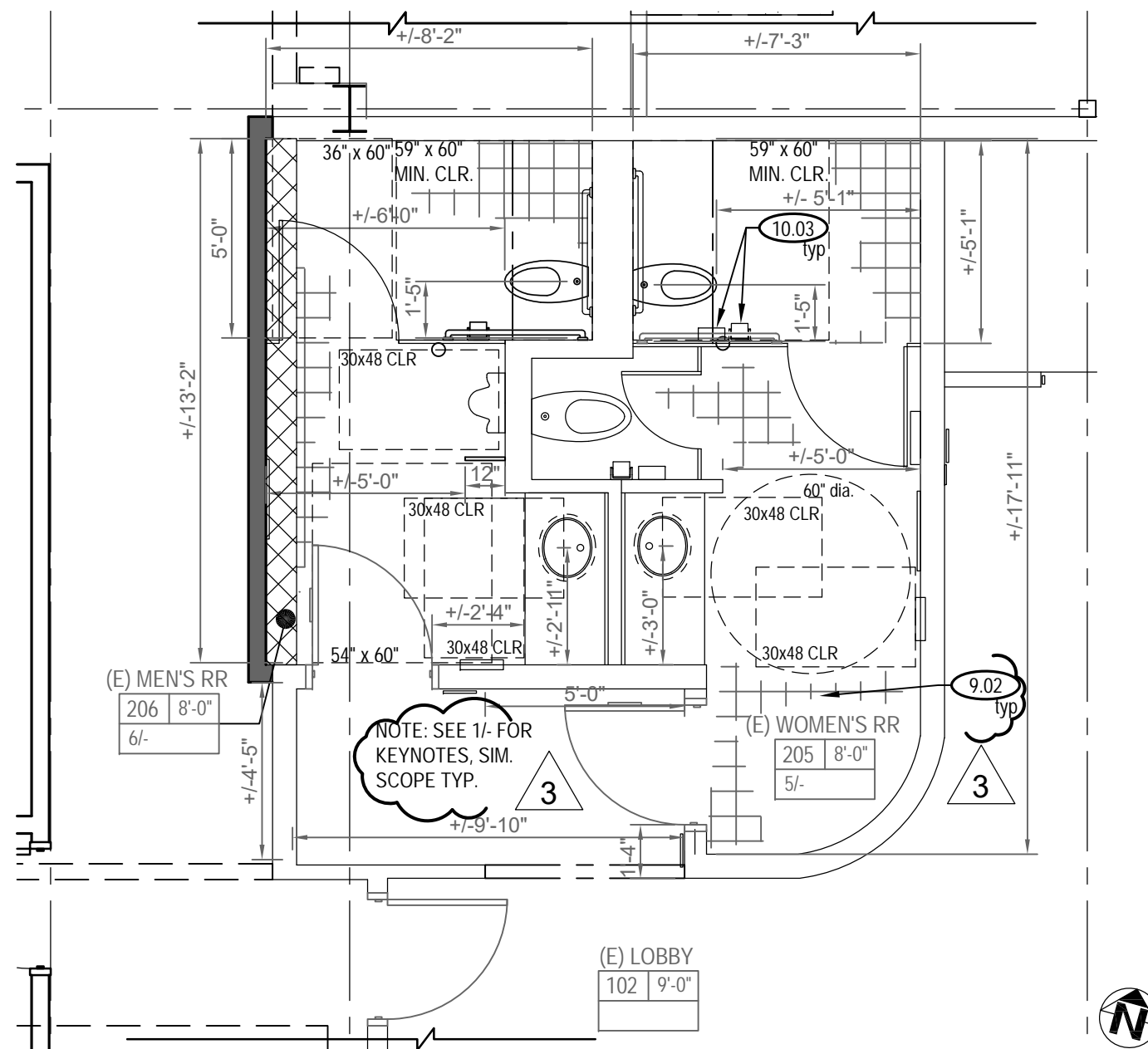
#### 4 INTERIOR ELEVATIONS- (E) MEN'S RESTROOM 106

1/4" = 1'-0"



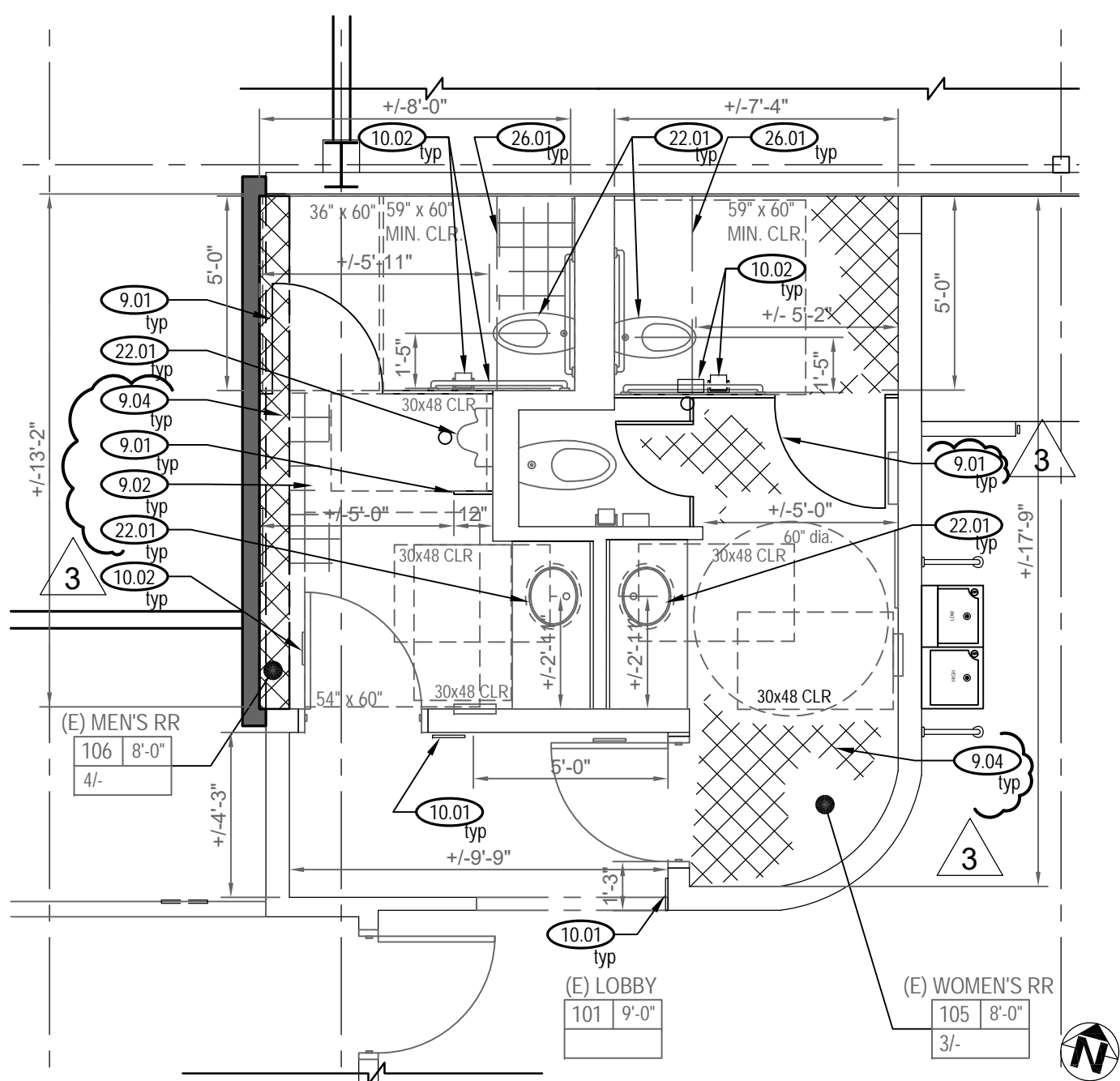
#### 3 INTERIOR ELEVATIONS- (E) WOMEN'S RESTROOM 105

1/4" = 1'-0"



#### 2 SECOND FLOOR- (E) RESTROOMS

1/4" = 1'-0"



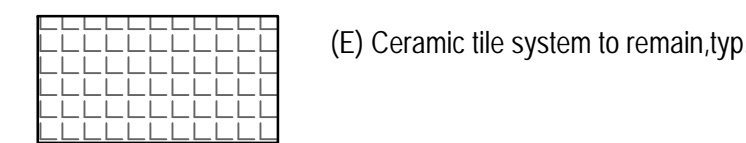
#### 1 FLOOR PLAN- (E) RESTROOMS

1/4" = 1'-0"

#### 9.01 RESTROOM ELEV KEY NOTES

- 9.01 12x24 Ceramic wall tile w/ 6x6 ceramic wall tile integral coved base, typ.  
9.02 (E) Ceramic wall tile to remain, typ.
- 10.01 Toilet partition, typ.  
10.02 (E) Restroom accessories to be reinstalled. This includes but not limited to mirrors, sanitary napkin disposal, grab bars, toilet paper dispenser, etc., typ. See mounting heights on detail 13/A-12.10, typ.
- 22.01 (E) toilet, typ.  
22.02 (E) Urinal, wall-mounted, typ.  
22.03 (E) Lavatory, typ.
- 26.01 (E) Soffit with light, typ.

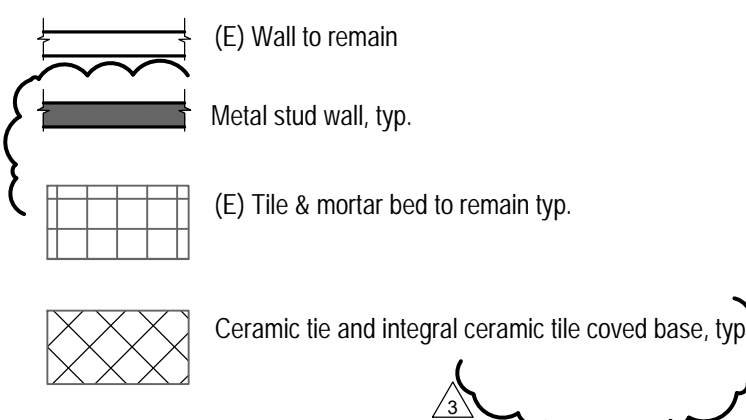
#### INTERIOR ELEVATION LEGEND



#### 9.01 FLOOR PLAN KEY NOTES

- 9.01 (E) Toilet partition to be removed and replaced with solid phenolic. Color to be selected by Architect, typ.  
9.02 (E) Ceramic flooring tile to remain, typ.  
9.03 (E) Toilet partition to remain, typ.  
9.04 8x8 ceramic tile flooring with integral ceramic tile coved base, typ. Color and pattern to be selected by Architect.
- 10.01 (E) Room signage, typ. See 2/A-12.10  
10.02 (E) Restroom accessories to be removed and salvaged as needed for the installation of new toilet partitions. typ. Contractor to reinstall these accessories after installing toilet partitions. This includes but not limited to grab bars, toilet paper dispenser, paper towel dispensers, mirrors, sanitary napkin disposal, etc. Refer to mounting details on 13/A-12.10  
10.03 (E) Restroom accessory to remain, protect during construction, typ.
- 22.01 (E) Accessible plumbing fixture, typ.
- 26.01 (E) Light fixture to remain, typ.

#### FLOOR PLAN LEGEND



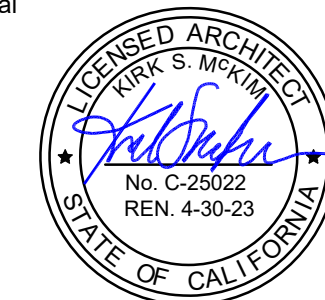
Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

**DISTRICT OFFICE T1**  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

No	Revisions/Submissions	Date
1	DSA Submittal_V1	July 19, 2022
2	District/ CM Comments	Oct. 6, 2022
3	Addendum No. 3	Oct. 21, 2022

Drawing Title

**ENLARGED FLOOR PLANS &  
INTERIOR ELEVATIONS  
RESTROOMS**

Project No. 2203 Date July 19, 2022

CD Drawing Number **A-9.2**

FIRST FLOOR												
WINDOW NO.	ROOM NAME	WINDOW SIZE (W X H)	TYPE	CONSTR.	FINISH	RATING	DUAL SINGLE GLAZING	COVERING	DETAIL REF. SHEET A-12.8	HEAD	JAMB	SILL
128.A	BOARD ROOM	6'-6" X 9'-0"	A	AL	FF	-	T-DUAL			4	4	4

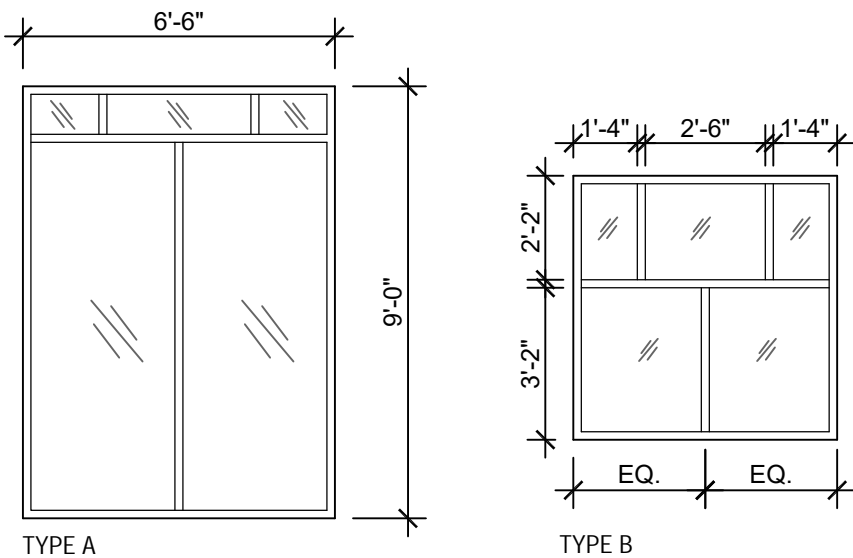
SECOND FLOOR												
WINDOW NO.	ROOM NAME	WINDOW SIZE (W X H)	TYPE	CONSTR.	FINISH	RATING	DUAL SINGLE GLAZING	COVERING	DETAIL REF. SHEET A-12.8	HEAD	JAMB	SILL
229.A	OPEN OFFICE	5'-6" X 5'-6"	B	AL	FF	-	T-DUAL			4	4	4
232.A	OFFICE	5'-6" X 5'-6"	B	AL	FF	-	T-DUAL			4	4	4

WINDOW TYPICAL LEGEND

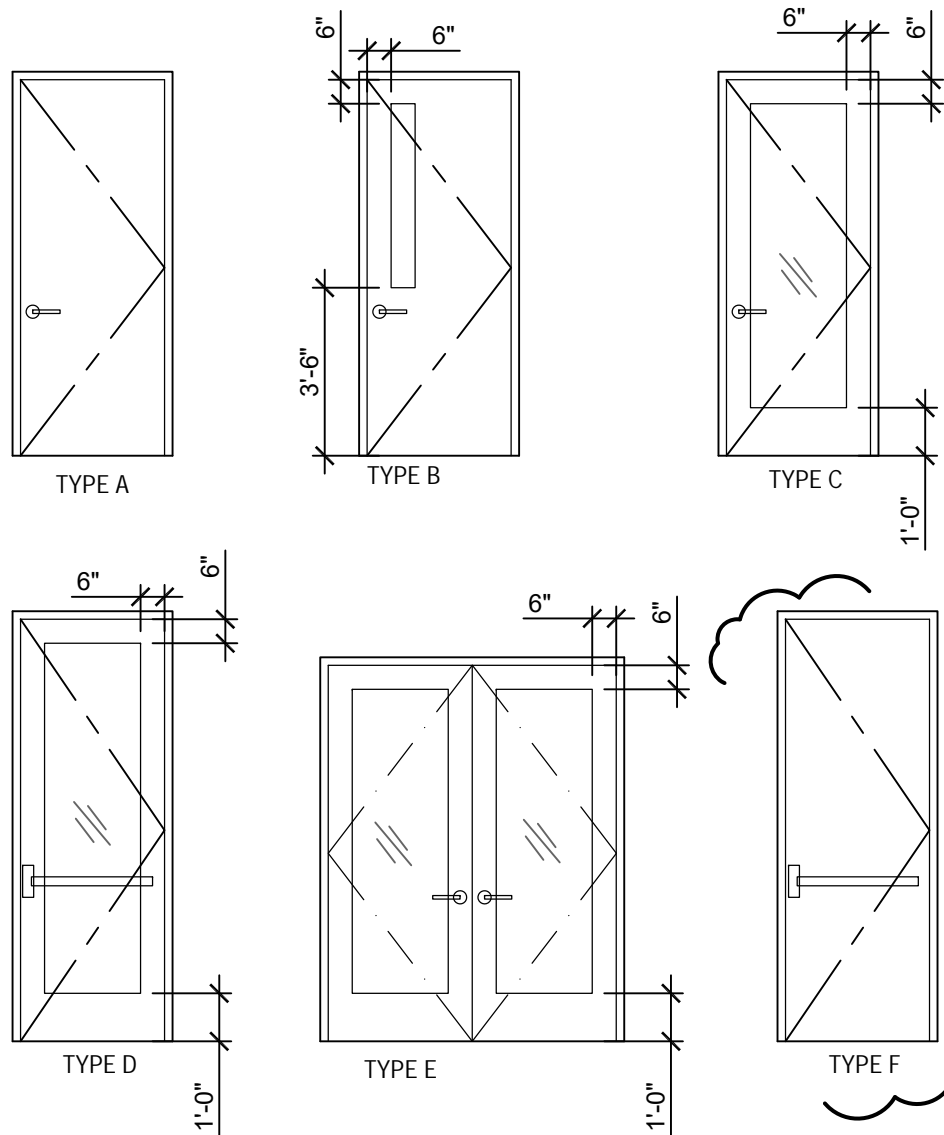
AL = ALUMINUM  
FF = FACTORY FINISH  
HB = HORIZONTAL BLIND  
RS = ROLLER SHADE  
TDP = TEMPERED & DUAL PANE  
TSP = TEMPERED & SINGLE PANE

WINDOW GENERAL NOTES:

- Glazing in windows to have a U-Value < or equal to 0.30, SHGC < or equal to 0.30, visible transmittance > or equal to 0.60
- Dimensions provided are for outside of frame (head, jamb, and sill). Rough openings to be as required by manufacturer to accommodate these sizes.
- Head heights within a room are typically the same. Notify the Architect prior to ordering windows if discrepancies exist.
- Windows on curbs: Contractor to adjust curb heights to accommodate window sizes and specific window details. Verify existing site conditions.
- Dimensions are +/- per the Owner's as-built plans. Verify window size in field.
- Refer to details 5 and 6/A-12.8.1 for metal window profile and attachment to framing.



3 WINDOW SCHEDULE



DOOR AND GLAZING TYPICAL LEGEND

AL = ALUMINUM  
(E) = EXISTING TO REMAIN  
FCC = FACTORY CLEAR COAT  
FF = FACTORY FINISH  
FR = FIRE RATED  
FRP = FIBERGLASS REINF. PANEL  
HM = HOLLOW METAL  
P = FIELD PAINTED  
PH = PANIC HARDWARE  
T = TEMPERED GLASS  
WD = WOOD  
WG = WIRE GLASS

DOOR GENERAL NOTES:

- All doors to have a clear and level landing on both sides and a 1/2" max difference between the floor/landing and the top of the threshold.
- Latching or locking doors in a path-of-travel are operated with a single effort by level type hardware, panic bars, push-pull activating bars or other hardware designed to provide passage without requiring the ability to grasp the opening hardware.
- Hand-activated door opening hardware is to be centered at a minimum of 34" but no more than 44" above the floor.
- Maximum effort to operate doors shall not exceed 5 pounds, with such pull or push effort being applied at right angles to hinged doors except at fire-rated doorways where force required to open be increased to 15 pounds, maximum.
- The lower 10" of all doors shall be smooth and uninterrupted, to allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition (narrow frame doors may use a 10" high smooth panel on the push side of the door).
- Glazing in doors to be tempered & to have a U-value < or equal to 0.30, SHGC < or equal to 0.30 & visible transmittance > or equal to 0.60
- Provide window film at interior doors with glass, typ.
- Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort.
- Every required exit doorway serving an occupant load of ten or more shall be of a size to permit the installation of a door not less than 3 feet in nominal width and not less than 6 feet 8 inches in nominal height.
- Doors and gates to be a minimum of 36" to provide a clear width of 32" when open.
- Dimensions are +/- per the Owner's as-built plans. Verify door size in field.
- Where door and door frames are called out to be aluminum, provide to match existing knock down- anodized aluminum.
- Coordinate with District on how doors are to be finished.

2 DOOR TYPES, LEGEND, NOTES

SECOND FLOOR												
DOOR NO.	ROOM NAME	DOOR SIZE (W X H)	TYPE	CONSTR.	FRAME	FINISH	RATING	GLAZING	HOWR	GRP ROOM SIGN	DETAIL REF. SHEET A-12.8	REMARKS
203.1	(E) JANITOR CLOSET	(E) 3070	-	-	-	-	-	-	09	ID	-	
205.1	(E) WOMEN'S RR	(E) 3070	-	-	-	-	-	-	06	ID, RS	-	
206.1	(E) MEN'S RR	(E) 3070	-	-	-	-	-	-	06	ID, RS	-	
207.1	HALLWAY	(E) 3089	-	-	-	-	-	-	04	ID, ER	5	PH
208.1	(E) OPEN OFFICE	30710	A	WD	AL	FCC	-	T	12	ID, ER	-	PH
209.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
210.1	(E) STAIR 2	(E) 3070	-	-	-	-	(E)	-	05	ID, ESD	-	PH
211.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
212.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
213.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
215.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
216.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
218.1	CONFERENCE	30710	B	WD	AL	FCC	-	T	10	ID, AS	5	5
219.1	(E) IT	(E) 30710	-	-	-	-	-	-	08	ID	-	
220.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
221.1	(E) OFFICE	(E) 30710	-	-	-	-	-	-	08	ID	-	
222.1	(E) OPEN OFFICE	(E) 30810	-	-	-	-	-	-	04	ID, ER	-	
223.1	STORAGE	3070	A	WD	AL	FCC	-	-	11	ID	5	5
224.1	CONFERENCE	30710	B	WD	AL	FCC	-	T	10	ID, AS	5	5
225.1	BREAK ROOM	30710	C	WD	AL	FCC	-	T	10	ID	5	5
226.1	STORAGE	3070	A	WD	AL	FCC	-	-	11	ID	5	5
227.1	STORAGE	3070	A	WD	AL	FCC	-	-	11	ID	5	5
228.1	CONFERENCE	30710	B	WD	AL	FCC	-	T	10	ID, AS	5	5
229.1	OPEN OFFICE	(2) 30710	E	WD	AL	FCC	-	T	14	ID	5	5
230.1	OFFICE	30710	A	WD	AL	FCC	-	T	11	ID	5	5
231.1	CONFERENCE	30710	A	WD	AL	FCC	-	T	10	ID, AS	5	5
232.1	OFFICE	30710	A	WD	AL	FCC	-	T	11	ID	5	5

FIRST FLOOR												
DOOR NO.	ROOM NAME	DOOR SIZE (W X H)	TYPE	CONSTR.	FRAME	FINISH	RATING	GLAZING	HOWR	GRP ROOM SIGN	DETAIL REF. SHEET A-12.8	REMARKS
101.1	(E) LOBBY	(E) 60810	-	-	-	-	(E)	-	01	ID, E, ISA	-	(E) PH. Adjust gap at center of doors
102.1	(E) STAIR 1	(E)	-	-	-	-	(E)	-	09	ID	-	
103.1	(E) ELECTRICAL	(E) 3070	-	-	-	-	(E)	-	09	ID	-	
103.2	(E) ELEVATOR MACHINE ROOM	(E) 3070	-	-	-	-	(E)	-	09	ID	-	
105.1	(E) WOMEN'S RR	(E) 3070	-	-	-	-	(E)	-	06	ID, RS	-	
106.1	(E) MEN'S RR	(E) 3070	-	-	-	-	(E)	-	06	ID, RS	-	
107.1	(E) OPEN OFFICE	(E) 30810	-	-	-	-	(E)	-	04	ID, ER	-	
108.1	CONFERENCE	30710	B	WD	AL	FCC	-	T	10	ID, AS	-	
109.1	(E) OFFICE	(E) 30710	A	WD	AL	FCC	-	-	11	ID	-	
110.1	(E) STAIR 2	(E) 30710	-	-	-	-	(E)	(E)	05	ID, ER	-	PH
110.2	(E) STAIR 2	30710	A	-	-	-	(E)	(E)	02	ID, E	-	(E) PH
111.1	(E) BREAK ROOM	(E) 30710	-	-	-	-	(E)	(E)	07	ID	-	
113.1	OFFICE	30710	A	WD	AL	FCC	-	T	11	ID	5	5
114.1	OFFICE	30710	A	WD	AL	FCC	-	T	11	ID	5	5
115.1	MAIL	30710	A	WD	AL	FCC	-	T	10	ID	5	5
116.1	PRINT	30710	A	WD	AL	FCC	-	T	10	ID	5	5
118.1	MOP SINK	3070	A	WD	AL	FCC	-	-	13	ID	-	
120.1	STORAGE	3070	A	WD	AL	FCC	-	-	11	ID	5	5
121.1	STORAGE	3070	A	WD	AL	FCC	-	-	11	ID	5	5
122.1	CONFERENCE	30710	B	WD	AL	FCC	-	T	10	ID, AS	5	5
123.1	OFFICE	30710	A	WD	AL	FCC	-	T	11	ID	5	5
125.1	OFFICE	30710	A	WD	AL	FCC	-	T	11	ID	5	5
127.1	HALLWAY	(E) 30810	-	-	-	-	(E)	-	04	ID, ER	-	PH
127.2	HALLWAY	30710	B	WD	AL	FCC	-	T	12	ID	5	5
128.1	BOARD ROOM	30710	C	WD	AL	FCC	-	T	12	ID, AS	5	5
128.2	BOARD ROOM	30710	B	WD	AL	FCC	-	T	12	ID	5	5
128.3	BOARD ROOM	3089	D	AL	AL	FF	-	T	03	ID, E	3	6
129.1	STORAGE	3070	A	WD	AL	FCC	-	-	11	ID	5	5

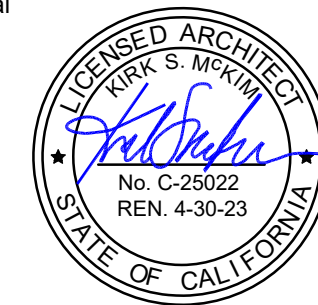
1 DOOR SCHEDULES

Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal



Project Title

DISTRICT OFFICE T1

981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

No	Revisions/Submissions	Date
1	DSA Submittal_V1	July 19, 2022
2	District/ CM Comments	Oct. 6, 2022
3	Addendum No. 3	Oct. 21, 2022

Drawing Title

DOOR & WINDOW  
SCHEDULES

Project No.  
2203

Date  
July 19, 2022

CD

Drawing Number  
A-10.1



Engineer Seal

Architect Seal



Project Title

DISTRICT OFFICE TI  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

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Drawing Title

FINISH SCHEDULES

Project No.

2203

Date

July 19, 2022

Drawing Number

CD

A-10.2

FINISHES LEGEND

C CARPET TILE, *Color:*  
CONC CONCRETE SLAB  
COV COVE BASE, 6" INTEGRAL  
CB CEMENT BACKER BOARD  
CS CARPET SHEET, see note 2 below.  
CT CERAMIC TILE  
(E) EXISTING  
ER EPOXY RESIN w/ 6" COVED BASE  
GYP GYPSUM BOARD - TYPE 'X', typ.  
ICB INTEGRAL COVED BASE - 6" TYP.  
LI LAY-IN CEILING TILES  
P PAINT  
T-BAR T-BAR  
TS TOP SET RUBBER BASE, *Color:*

Notes:  
1) Finishes have a flame spread of <25 and smoke density of <450 with the exception of FRP which has a flame spread of <75  
2) Carpet Sheet will OFCI. Contractor to coordinate carpet pickup with District.  
3) Finishes including but not limited to carpet tile selections, paint colors, p-lam, etc. will be issued separately from this drawing set, coordinate with District and Architect

GENERAL FINISH NOTES:

A. For multiple floor finishes in a room, refer to floor plan and specifications.  
B. For multiple wall finishes in a room, refer to interior elevations and specifications.  
C. For multiple ceiling finishes in a room, refer to reflected ceiling plan for location of each finish.  
D. Paint all exposed surfaces, including all gypsum board, soffits, and trim.  
E. Paint all doors and frames. Remove all signage and mask hardware prior to painting. Reinstall as required upon completion.  
F. Paint all window trim, typ. Windows are factory finished.  
G. Paint all exposed conduits and mechanical devices to match adjacent finish.  
H. (E) exterior surfaces and (E) interior finishes to be patched and painted to match adjacent at all locations of work.  
I. Flooring finishes are to extend into and fill all "open-base" cabinets, typ.  
J. Cut, patch and paint to match (E) adjacent surfaces as necessary, typ.

X / Y = Two materials or finishes ('X' & 'Y') are to be provided on the same floor, wall, or ceiling. See elevations or plans for the location of each.

(E)X = Existing finish or material to remain

SECOND FLOOR

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS								CEILING		NOTES
				NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH	
				MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH			
201	(E) LOBBY	LVT	TS	(E)	P	(E)	P	(E)	P	(E)	P	T-BAR	LI	
202	(E) STAIR 1	CS	TS	(E)	P	(E)	P	(E)	P	(E)	P	T-BAR	LI	
203	(E) JANITOR CLOSET	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
204	(E) ELEVATOR											-	-	
205	(E) WOMEN'S RESTROOM	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
206	(E) MEN'S RESTROOM	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
207	HALLWAY	CS	TS	-	-	(E)	P	GYP	P	GYP	P	T-BAR	LI	
208	(E) OPEN OFFICE	CS C	TS	(E) GYP	P	GYP	P	(E)	P	(E)	P	T-BAR	LI	
209	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
210	(E) STAIR 2	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	P	
211	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
212	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
213	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
214	(E) OPEN OFFICE	CS C	TS	-	-	-	-	GYP	P	GYP	P	T-BAR	LI	
215	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
216	(E) OFFICE	C	TS	(E)	P	(E)	P	(E) GYP	P	(E)	P	(E)	LI	
217	(E) OPEN OFFICE	CS C	TS	(E)	P	(E)	P	-	-	(E)	P	(E)	LI	
218	CONFERENCE	C	TS	GYP	P	GYP	P	GYP	P	GYP	P	T-BAR	LI	
219	(E) IT	VCT	TS	(E)	P	GYP	P	(E)	P	(E) GYP	P	(E)	LI	
220	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
221	(E) OFFICE	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	(E)	LI	
222	(E) OPEN OFFICE	CS C	TS	(E)	P	(E) GYP	P	GYP	P	(E)	P	(E)	LI	
223	STORAGE	CS	TS	GYP	P	GYP	P	GYP	P	(E)	P	T-BAR	LI	
224	CONFERENCE	C	TS	GYP	P	GYP	P	GYP	P	GYP	P	T-BAR	LI	
225	BREAK ROOM	LVT	TS	(E)	P	(E) GYP	P	(E) GYP	P	(E)	P	T-BAR	LI	
226	STORAGE	CS	TS	(E) GYP	P	(E)	P	(E)	P	GYP	P	(E)	LI	
227	STORAGE	CS	TS	GYP	P	(E)	P	GYP	P	GYP	P	(E)	LI	
228	CONFERENCE	C	TS	GYP	P	(E)	P	GYP	P	GYP	P	T-BAR	LI	
229	OPEN OFFICE	C	TS	GYP	P	GYP	P	(E)	P	(E)	P	T-BAR	LI	
230	OFFICE	C	TS	GYP	P	(E)	P	(E)	P	GYP	P	T-BAR	LI	
231	CONFERENCE	C	TS	GYP	P	(E)	P	GYP	P	GYP	P	T-BAR	LI	
232	OFFICE	C	TS	GYP	P	(E)	P	(E)	P	GYP	P	T-BAR	LI	

FIRST FLOOR

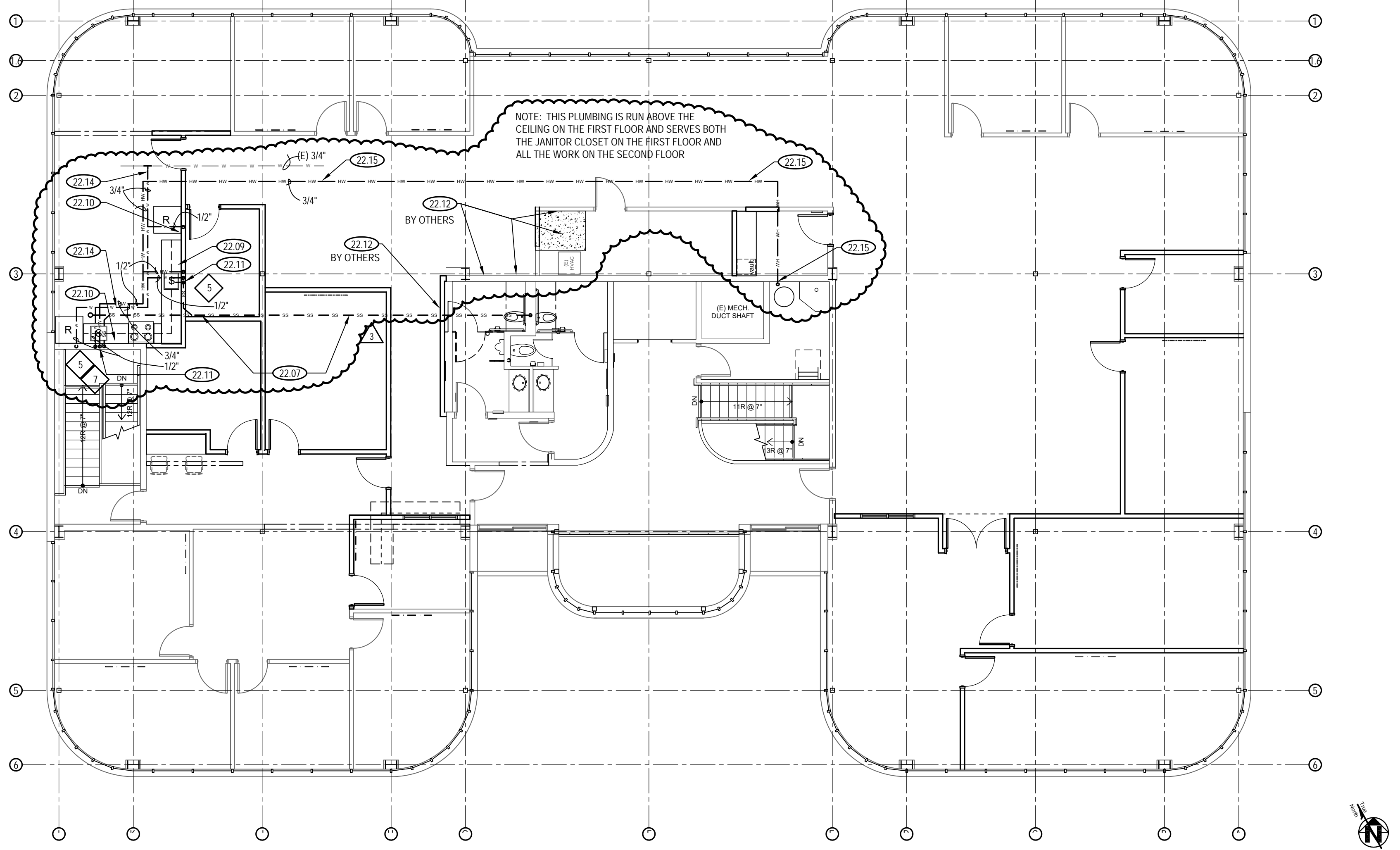
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS								CEILING		NOTES
				NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH	
				MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH			
101	(E) LOBBY	LVT	TS	(E)	P	(E)	P	(E)	P	(E) / CB	P / CT	T-BAR	LI	
102	(E) STAIR 1	C	TS	(E)	P	(E)	P	(E)	P	(E)	P	T-BAR	LI	
103	(E) ELECTRICAL	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
103.1	(E) ELEVATOR MACHINE ROOM	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
104	(E) ELEVATOR	-	-	-	-	-	-	-	-	-	-	-	-	
105	(E) WOMEN'S RESTROOM	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
106	(E) MEN'S RESTROOM	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
107	(E) OPEN OFFICE	CS / C	TS	(E) / GYP	P	GYP	P	(E)	P	GYP	P	(E)	(E)	
108	CONFERENCE	C	TS	GYP	P	(E)	P	(E)	P	GYP	P	T-BAR	LI	
109	(E) OFFICE	C	TS	(E)	P	(E)	P	(E) / GYP	P	(E) / GYP	P			
110	(E) STAIR 2	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
111	(E) BREAK ROOM	(E)	(E)	(E)	P	(E)	P	(E)	P	(E)	P	(E)	(E)	
112	(E) OPEN OFFICE	CS / C	TS	(E)	P	GYP	P	-	-	(E)	P			
113	OFFICE	C	TS	GYP	P	GYP	P	(E)	P	(E)	P	T-BAR	LI	
114	OFFICE	C	TS	GYP	P	GYP	P	GYP	P	(E)	P	T-BAR	LI	
115	MAIL	VCT	TS	GYP	P	(E)	P	(E) / GYP	P	GYP	P	T-BAR	LI	
116	PRINT	VCT	TS	GYP	P	(E) / GYP	P	GYP	P	GYP	P	T-BAR	LI	
117	OPEN OFFICE	CS / C	TS	(E) / GYP	P	GYP	P	(E) / GYP	P	(E)	P			
118	MOP SINK	VCT	TS	(E)	P / FRP	GYP	P	GYP	P / FRP	(E)	P / FRP	T-BAR	LI	
119	ALCOVE	C	TS	(E)	P	(E) / GYP	P	-	-	(E)	P	(E)	(E)	
120	STORAGE	CS	TS	GYP	P	GYP	P	(E)	P	GYP	P	(E)	(E)	
122	CONFERENCE	C	TS	(E)	P	GYP	P	GYP	P	GYP	P	T-BAR	LI	
123	OFFICE	C	TS	(E)	P	GYP	P	GYP	P	GYP	P	T-BAR	LI	
124	OPEN OFFICE	CS / C	TS	(E)	P	GYP	P	-	-	GYP	P	T-BAR	LI	
125	OFFICE	C	TS	(E)	P	(E)	P	GYP	P	GYP	P	T-BAR	LI	
126	STORAGE	CS	TS	GYP	P	GYP	P	GYP	P	GYP	P	(E)	(E)	
127	HALLWAY	CS	TS	GYP	P	GYP	P	GYP	P	(E)	P	T-BAR	LI	
128	BOARD ROOM	C	TS	GYP	P	(E)	P	(E)	P	(E) / GYP	P	T-BAR	LI	
129	STORAGE	CS	TS	GYP	P	(E)	P	GYP	P	GYP	P	T-BAR	LI	

3

3

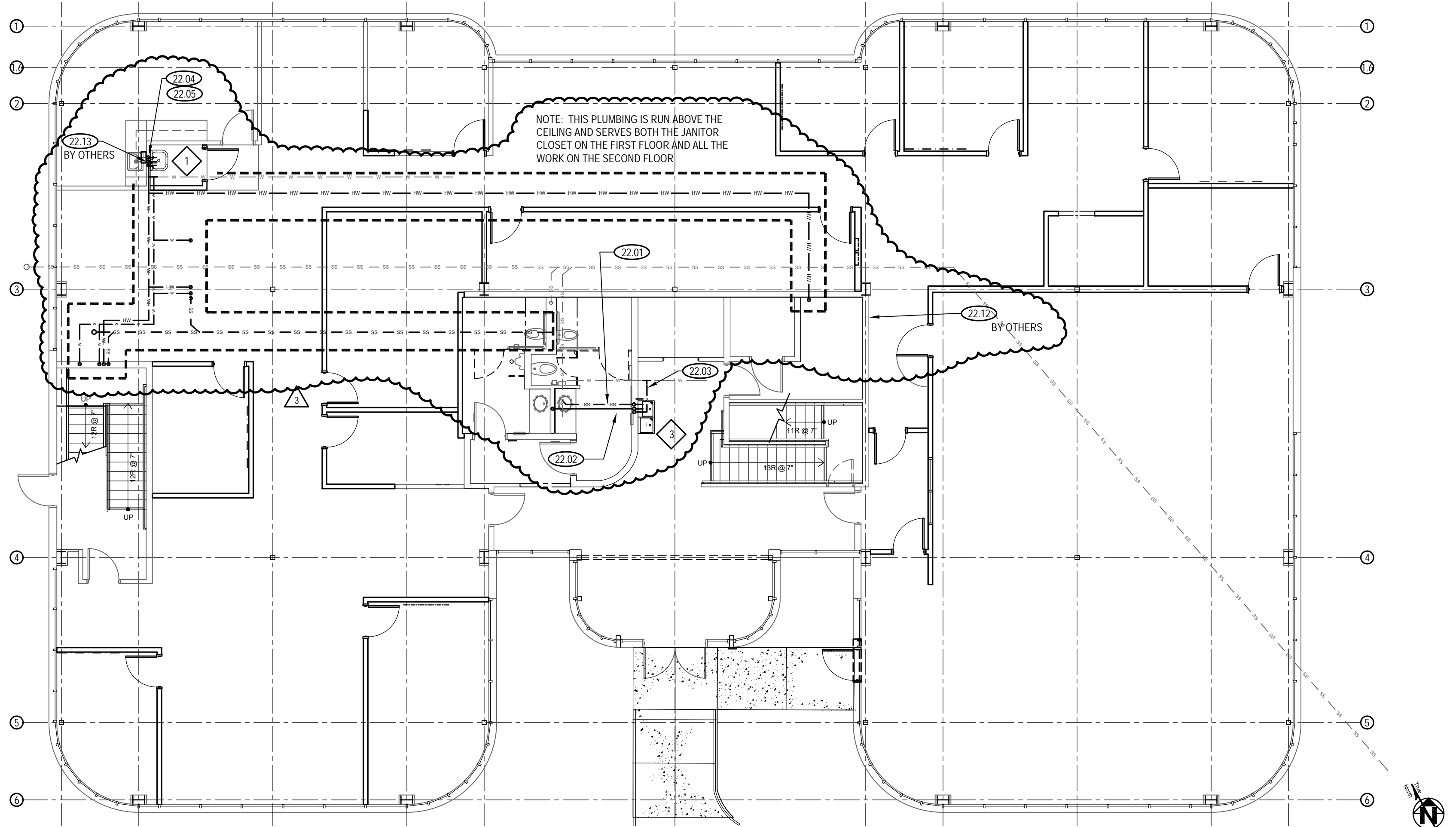
1

FINISH SCHEDULES



2 PLUMBING PLAN - SECOND FLOOR

1/8" = 1'-0"



1 PLUMBING PLAN - FIRST FLOOR

1/8" = 1'-0"

PLUMBING GENERAL NOTES

1. Prior to bidding, the contractor shall visit the job site to become familiar with the existing installation and systems related to the work, and shall include in the proposal all labor and materials required for the installation to be complete and operative.
2. All new construction shall conform to applicable codes.
3. The contractor is to coordinate pipe routing and drops with other trades prior to start of work, for possible interference with ductwork, lighting fixtures, conduits, cable trays, etc.
4. Use caution in locating existing underground utilities. Any utilities and equipment damaged by the contractor during construction shall be immediately repaired by the contractor to original or better condition at no increase to contract amount.
5. Electronically locate (e) underground lines prior to start of work and "pothole" to discover and verify exact location prior to trenching.
6. Pipes shall be supported and braced per smacna guidelines for seismic restraints of plumbing systems.
7. Notify architect upon discovery of any field conflicts.
8. Drawings are diagrammatic and existing conditions shall be field verified for exact location, sizes and invert elevation of existing utilities, the proposed point of connection to existing systems and new routing.
9. Plumbing system shall be installed in a manner conforming to 2019 CPC code and the manufacturer's recommendations.
10. Plumbing pipe material shall follow CPC 2019 and following U.N.O.

PLUMBING KEY NOTES

- 22.01 2" Sanitary Sewer - Locate (E) sanitary sewer line at (E) restroom, trench under (E) wall and tie into (E) sanitary sewer line in restroom. NOTE: There are no as-built plumbing plans so the sanitary sewer line will need to be located and plumbing adjusted as necessary once the line has been located.
- 22.02 1-1/2" Df vent into wall, over restroom ceiling and connect into (E) vent thru roof.
- 22.03 1/2" copper water line - connect into (E) water line above ceiling, run into and down wall to DF. Install shut-off-valve and reduce line to 3/8" as required for proper installation per manufacturer.
- 22.04 1/2" copper water line - connect to (E) water line above ceiling, run in wall into Janitor closet and connect to faucet at mop sink. Provide accessible shut-off valve in Janitor closet for all fixtures in closet.
- 22.05 2" Sanitary Sewer pipe connected thru wall into (E) drain line for sink in Break Room.
- 22.06 Provide plumbing and installation for wall mounted 6 gallon water heater - include all plumbing piping and pressure relief lines as required for proper installation.
- 22.07 2" Sanitary Sewer - run above first floor ceiling over to (E) drain from fixtures above at (E) Restrooms.
- 22.08 1/2" copper water line - connect to (E) water line below floor - run over and up into wall in Break Room and connect to water heater and faucet at sink, typ. Provide shut-off for all services under counter at Break Room.
- 22.09 Provide plumbing and installation for wall mounted water heater - include all plumbing piping as required for proper installation.
- 22.10 Provide copper water line and stub out behind each refrigerator with recessed angle stop for connection of ice-maker at each refrigerator.
- 22.11 1-1/2" Vent thru roof, typ. Provide roof patch as required by roofing subcontractor or coordinate with general contractor / construction manager for roof patch.
- 22.12 Demolish (E) plumbing fixtures and equipment completely (sinks, showers, faucets, drains, etc). Cap all plumbing inside wall or under floor, typ.
- 22.13 Reconnect (E) insta-hot water heater - coordinate with electrical
- 22.14 3/4" copper water line - connect to (E) water line below floor
- 22.15 3/4" copper hot-water - connect to (E) circulation pump and (E) water heater in Janitor room on second floor.

PLUMBING FIXTURE SCHEDULE

1	SERVICE SINK: FAUCET: OTHER:	Kohler Bannon Service Sink K-6714 or approved equal with K-6672 Trap and appropriate strainer and p-trap. Kohler Kinlock Service Sink Faucet K-8907-CP ADA or Equal Contractor to include all other accessories required for a complete installation. If there are options to be selected, contractor to include the most expensive option or receive clarification prior to submitting bid.
2	WATER HEATER: OTHER:	Chronicle Electric Mini Tank Water Heater, CMT-6.0, Wall Mount - 6 gallon - Weight with water +/- 100 lbs. (Unit is 16"W x 16"D x 18"H) - 110/120V / 12 amp / 1440 watt. Contractor to include all other accessories required for a complete installation. If there are options to be selected, contractor to include the most expensive option or receive clarification prior to submitting bid.
3	DRINKING FTN: OTHER:	Elkay Model LZSTL2BWSVRSK - Bottle Filling Station and Bi-level ADA Vandal Resistant cooler, filtered, refrigerated, stainless. 115v / 60hz / 6 amp / 370 Watt. Weight = +/- 100#. Include Wall Carrier MLP 200 / Filter 51300C / Water Sentry Filter Mounting Cover 58568C. Contractor to include all other accessories required for a complete installation. If there are options to be selected, contractor to include the most expensive option or receive clarification prior to submitting bid.
4	BRAIN PUMP: OTHER:	Sanswith drain pump by Saniflo - 120V / 60 Hz / 4.5 amp / 0.34 HP motor / with power cord - 15' - 1-1/2" discharge / 18GPM / 2.75 gallons capacity / 1-1/2" inlet / Weight - 13 lbs. Contractor to include full installation and adaptation as needed for drinking fountain to discharge into Drain Pump. Contractor to include all other accessories required for a complete installation. If there are options to be selected, contractor to include the most expensive option or receive clarification prior to submitting bid.
5	SINK: FAUCET: OTHER:	Kohler Vault 25" undermount single-bowl kitchen sink ADA compliant with K8801 DuoShine® Sink Option. Kohler Forte K-10430 Remote Valve Kitchen Sink Faucet - 3 hole / 9" spout / ADA / Brushed Nickel Contractor to include all other accessories required for a complete installation. If there are options to be selected, contractor to include the most expensive option or receive clarification prior to submitting bid.
6	WATER HEATER: OTHER:	Stiebel Eltron DHC-E-12-12-0 kW point of use electric water heater installed under cabinet. 50Amp / 240V / 12,000 W / 1-1/2" GPM at 55 degree rise. Contractor to include all other accessories required for a complete installation. If there are options to be selected, contractor to include the most expensive option or receive clarification prior to submitting bid.
7	GARBAGE DISPOSAL:	InSinkErator Evolution Essential XTR Corded 3/4-HP Continuous Feed Noise Insulation Disposal. Provide and install, typ.

Regulatory Agency Approval

DSA: 01 -120361 / File: 43-7



Engineer Seal

Architect Seal



Project Title

DISTRICT OFFICE T1  
981 RIDDER PARK DR  
SAN JOSE, CA 95131

Client

BERRYESSA UNION SCHOOL DISTRICT  
1376 PIEDMONT RD.  
SAN JOSE, CA 95132

No	Revisions/Submissions	Date
1	DSA Submittal_V1	July 19, 2022
2	District/ CM Comments	Oct. 6, 2022
3	Addendum No. 3	Oct. 21, 2022

Drawing Title

PLUMBING PLAN

Project No.

2203

Date

July 19, 2022

Drawing Number

CD

P-1.0